

DESIGN GUIDELINES - LOT 1 & 12 NO 6-8 FOURTH AVENUE EAST, MAYLANDS WAPC SUBDIVISION REFERENCE NUMBER 124855 POLICY



Responsible Division	Planning and Development Services
Responsible Business Unit/s	Planning Services
Responsible Officer	Planning Manager
Affected Business Unit/s	Planning Services

PURPOSE:

To provide direction and clarity to Developers and the Community on the application of the Performance Criteria with regard to various elements of the Residential Design Codes (R-Codes) 2002 within the subdivision located at Lots 1 and 12 Nos 6 8 Fourth Avenue East, Maylands.

The application of the Performance Criteria is expressed as Residential Design Guidelines as required by the West Australian Planning Commission.

POLICY STATEMENT:

The Residential Design Guidelines identify the relevant R-code provision including the associated clause. Applications that meet the following requirements are deemed to meet with the relevant Performance Criteria of the R-Codes.

This policy is made pursuant to Clause 2.6.2 of the Residential Design Codes 2002 and shall have effect for applications made for residential development as defined by the City of Bayswater Town Planning Schemes (as amended). This policy does not alter or change in any way the acceptable development criteria of the codes.

DESIGN ELEMENT 2 - STREETScape

Setback of Buildings Generally (Clause 3.2.1)

1. Lots 501 to 504 and lots 511 to 513; dwelling, including any balcony, to achieve a minimum setback of 4.0m from the primary street.
2. Lots 505 to 508; dwelling, including any balcony, to achieve a minimum setback of 2.0m from the primary street.
3. Lots 509 and 510; dwelling, including any balcony, to achieve a minimum setback of 4.0m from the common boundary between lot 509 and 510.

Setback of Garages and Carports (Clause 3.2.3)

4. Lots 501 to 504 and lots 511 to 513; garages and carports to achieve a minimum setback of 5.5m.
5. Lots 505 to 508; garages and carports to achieve a minimum setback of 3.5m.
6. Lot 509 and 510; garages and carports to achieve a minimum setback of 6.0m from the common boundary between lot 509 and 510.
7. Lots 508 to 511; garage opening to be set back a minimum of 1.5m from the side boundary.

Garage Doors (Clause 3.2.8)

8. Double garage doors where an upper floor or balcony extends for the full width of the garage and the entrance to the dwelling is clearly visible from the street.

DESIGN ELEMENT 3 BOUNDARY SETBACKS

Buildings Setback from the Boundary (Clause 3.3.1)

9. Lots 505 to 509; dwelling including any balcony to achieve a minimum rear setback (to the Parks and Recreation Reserve boundary) of 5.0m for the first two storeys.
10. Lots 505 to 509; dwelling including any balcony to achieve a minimum rear setback (to the Parks and Recreation Reserve boundary) of 6.5m for the third storey.

Buildings on Boundary (Clause 3.3.2)

11. Lots 501 to 504 and Lots 511 to 513; walls may be built up to the boundary, as nominated on the attached plan, subject to:
 - a. A maximum height of 6.0m; and
 - b. A minimum setback from the primary street of 5.5m.
12. Lot 510; walls may be built up to the boundary, as nominated on the attached plan, subject to:
 - a. A maximum height of 3.0m with a minimum setback of 6.0m, measured from and parallel to the common boundary with lot 509; and
 - b. A maximum height of 6.0m with a minimum setback of 9.5m, measured from and parallel to the common boundary with lot 509.
13. Lots 505 to 509; walls may be built up to the boundary, as nominated on the attached plan, subject to:
 - a. A maximum height of 6.0m for the portion of the dwelling required to meet the category B height provisions;
 - b. A maximum height of 9.0m for the portion of the dwelling permitted to meet with the category C height provisions;
 - c. A minimum setback from the primary street of 3.5m; and
 - d. A minimum setback from the river foreshore of 6.5m.

DESIGN ELEMENT 4 OPEN SPACE

Open Space Provision (Clause 3.4.1)

14. A minimum of 40% open space to be provided for each lot.

DESIGN ELEMENT 5 ACCESS AND CAR PARKING REQUIREMENTS

Vehicular Access (Clause 3.5.4)

15. Vehicular access to all lots to correspond with the as constructed crossover locations as depicted on the attached plan.

DESIGN ELEMENT 7 BUILDING HEIGHT

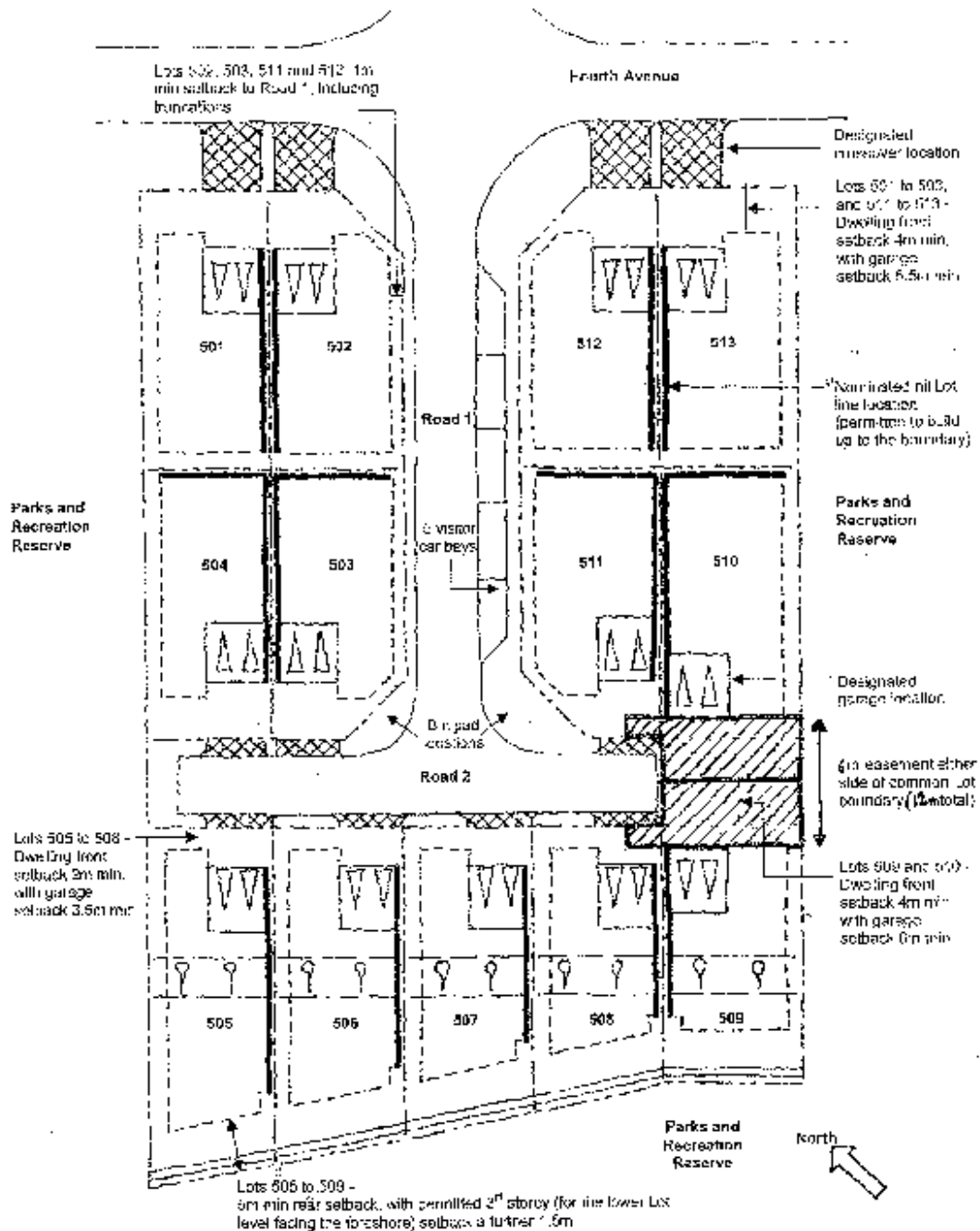
Building Height (Clause 3.7.1)

16. Lots 501 to 504 and 510 to 513; building heights in accordance with category B provisions.
17. Lots 505 to 509; building heights in accordance with category B provisions for the portion of the dwelling fronting the public road and in accordance with category C provisions for the portion of the dwelling fronting the river foreshore. Note: Portion of dwelling fronting the river foreshore permitted to be a maximum of three (3) stories.

DESIGN ELEMENT 8 PRIVACY

Visual Privacy (Clause 3.8.1)

18. All balconies facing the foreshore reserve shall be deemed as meeting the performance criteria with regard to the cone of vision.



DEFINITIONS:

Nil

RELATED LEGISLATION:

Clause 2.6.2 of Residential Design Codes

RELATED DOCUMENTATION:

Nil

Relevant Delegations		
Risk Evaluation		
Council Adoption	Date	28 June 2005
Reviewed / Modified	Date	25 September 2007
Reviewed / Modified	Date	1 March 2016
Reviewed / Modified	Date	