

# DESIGN GUIDELINES - LOT 16 WYATT ROAD (CORNER DUNSTONE ROAD) BAYSWATER POLICY



Responsible Division	Planning and Development Services
Responsible Business Unit/s	Planning Services
Responsible Officer	Planning Manager
Affected Business Unit/s	Planning Services

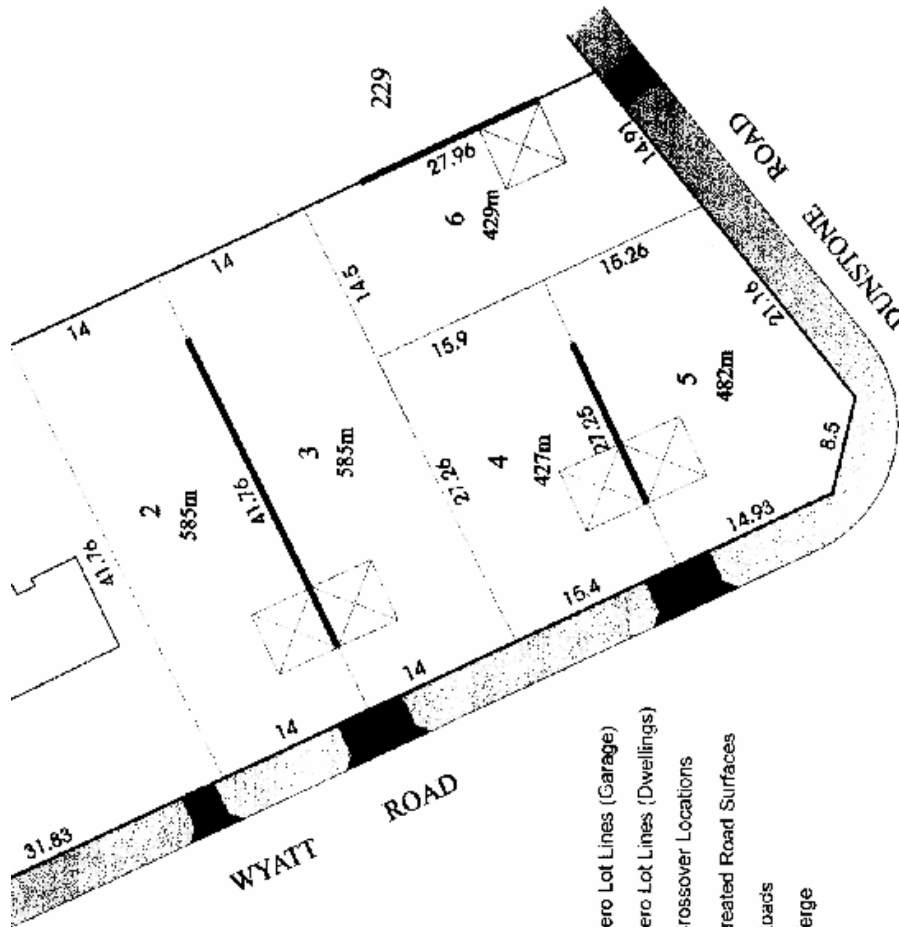
## PURPOSE:

To provide guidelines for variations to development standards adopted by Council within the subdivision located at Lot 16 No 74 80 Wyatt Road (Corner Dunstone Road), Bayswater.

## POLICY STATEMENT:

The following standards shall apply to residential development within the subdivision at Lot 16 No 74 80 Wyatt Road (corner Dunstone Road), Bayswater.

1. A minimum front setback of 3 metres with an average of 4.5 metres shall be permitted for ground floor structures.
2. A minimum front setback of 4.5 metres with an average of 6 metres shall be required for upper floor structures.
3. Garages and carports shall be located a minimum of 4.5 metres from the front boundary, and located within the volume of the building.
4. Front screen walls and fences shall not exceed a height of 600mm.
5. Where nominated on the plan of subdivision (attached), parapet walls permitted as a right are:
  - a. Nominated Ground Floor Dwelling Parapet Walls:
    - i. A minimum front setback of 4.5 metres;
    - ii. A maximum height of 3 metres;
    - iii. A maximum length of 18 metres.
  - b. Nominated Carport/Garage Walls
    - i. A maximum front setback of 4.5 metres;
    - ii. A maximum length of 6 metres;
    - iii. A maximum height of 3 metres;
    - iv. Location of carport/garages to coincide with nominated crossovers.
  - c. Where a garage and ground floor parapet wall are proposed on the same nominated zero lot line, the maximum (total) length of the parapet wall is to be 18 metres.
  - d. Parapet walls proposed in accordance with this Policy do not require the consent of the adjoining landowners, however any variation to length, height, or position of the wall will require the comment of the adjoining landowner.

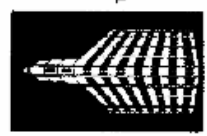


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**Disclaimer**  
ALL AREAS & DIMENSIONS  
ARE APPROXIMATE - ONLY &  
SUBJECT TO SURVEY

- Zero Lot Lines (Garage)
- Zero Lot Lines (Dwellings)
- Crossover Locations
- Treated Road Surfaces
- Roads
- Verge

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**DEFINITIONS:**

*Nil*

**RELATED LEGISLATION:**

Clause 2.6 of Town Planning Scheme No 24

**RELATED DOCUMENTATION:**

*Nil*

Relevant Delegations		
Risk Evaluation		
Council Adoption	Date	22 February 2000
Reviewed / Modified	Date	25 January 2005
Reviewed / Modified	Date	1 March 2016