

DESIGN GUIDELINES - PARSONS STREET, EMBLETON (EIGHT SURVEY STRATA LOTS) POLICY



Responsible Division	Planning and Development Services
Responsible Business Unit/s	Planning Services
Responsible Officer	Planning Manager
Affected Business Unit/s	Planning Services

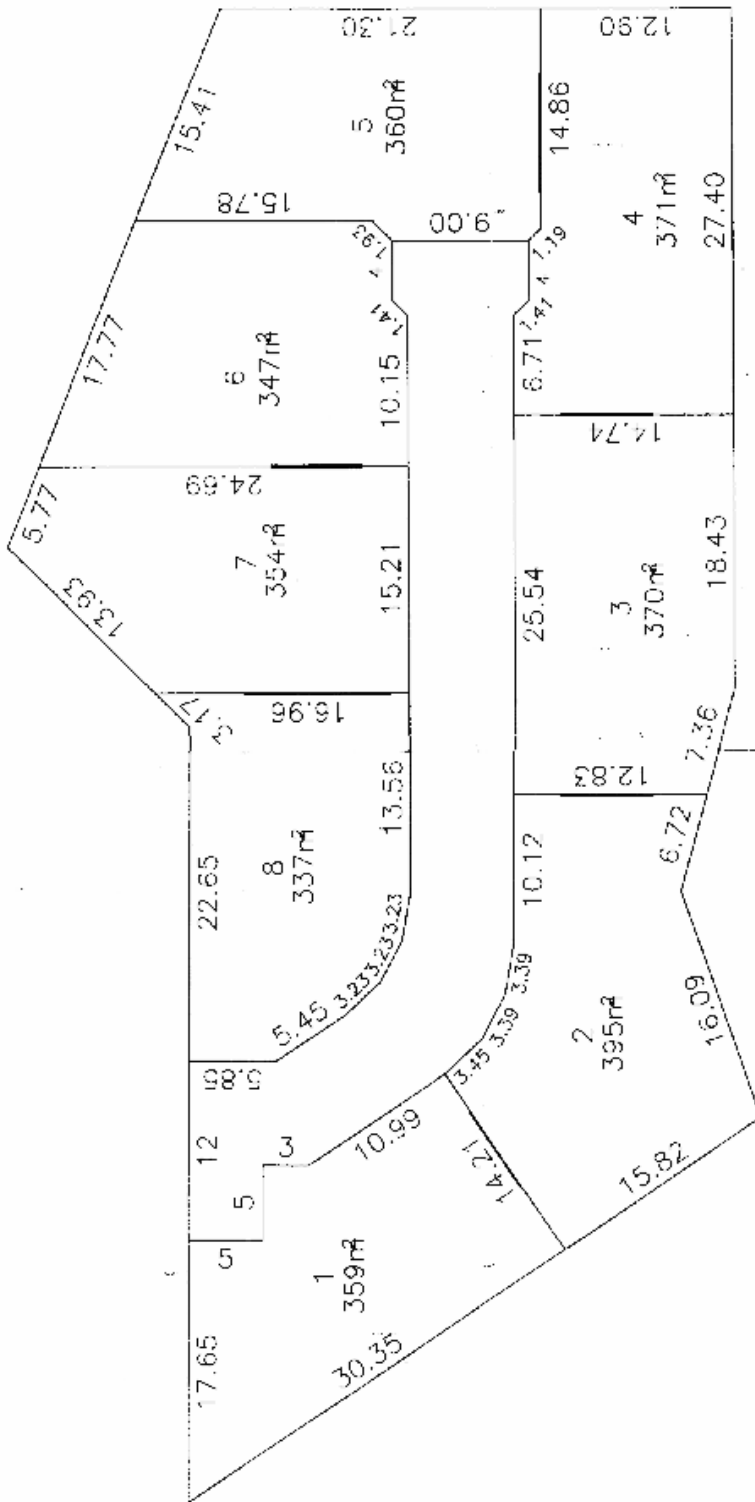
PURPOSE:

To provide guidelines for variations to development standards adopted by Council within the survey strata subdivision located at Lot 546, Swan Location 7283 & 7284 Nos 27-31 Parsons Street, Embleton (WAPC Ref: 863-01).

POLICY STATEMENT:

The following standards shall apply to residential development within the survey strata subdivision at Lot 546, Swan Location 7283 & 7284 Nos 27-31 Parsons Street, Embleton (WAPC Ref 863-01).

1. A minimum ground floor setback of:
 - a. 3.0 metres (1.5 metres where appropriately screened) to the common driveway shall be permitted for each dwelling; and
 - b. 1.0 metre for garages and carports from the common driveway.
2. Where nominated on the plan of survey strata subdivision, parapet walls are permitted as of right subject to the following criteria:
 - a. A minimum setback to the common driveway of 1.0 metre;
 - b. A minimum rear setback of 1.5 metres;
 - c. A maximum height of 3.0 metres; and
 - d. A maximum length of 12 metres.
3. Parapet walls proposed in accordance with this policy do not require the consent of the adjoining strata owner/s, however any variation to the minimum setbacks, height or length (as indicated above) will require the written comment of the adjoining strata owner/s.
4. A maximum plot ratio of 0.6:1 is applicable to each survey strata lot relative to the strata area.
5. A maximum site cover of 60% is applicable to each survey strata lot relative to the strata area.



CITY OF WARRACK
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		CONSULTING SURVEYORS : DENNIS WILBY HAYES AND ASSOCIATES SURVEYING CONSULTANTS 7 WARRFIELD PLACE, WARRACK TELEPHONE: 8521 4433 FAX: 8521 3032
PREPARED FOR: PROPOSED SURVEY STRATA SWAN LOGGANS 7283, 7284 AND LOT 1-45 PARSONS STREET WARRACK	DATE: 13/01/02	SCALE: 1:100
DRAWN BY: G.D.	CHECKED BY: G.D.	PROJECT NO: 13/01/02

DEFINITIONS:

Nil

RELATED LEGISLATION:

Clause 2.6 of Town Planning Scheme No 24

RELATED DOCUMENTATION:

Nil

Relevant Delegations		
Risk Evaluation		
Council Adoption	Date	23 April 2002
Reviewed / Modified	Date	25 January 2005
Reviewed / Modified	Date	1 March 2016
Reviewed / Modified	Date	