

Minutes

ORDINARY COUNCIL MEETING

9 July 2019



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MINUTES

Minutes of the Ordinary Meeting of the Bayswater City Council which took place in the Council Chambers, City of Bayswater Civic Centre, 61 Broun Avenue, Morley on Tuesday, **9 July 2019**.

1. OFFICIAL OPENING

The Chairperson, Cr Dan Bull, Mayor, declared the meeting open at 6:30pm.

2. ACKNOWLEDGEMENT OF COUNTRY

The Chairperson, Cr Dan Bull, Mayor, acknowledged the Traditional Custodians of the land, the Whadjuk people of the Noongar nation, and paid respects to Elders past, present and emerging.

3. ANNOUNCEMENTS FROM THE PRESIDING MEMBER

Nil.

4. ATTENDANCE

Members

West Ward

Cr Dan Bull, Mayor (Chairperson)
Cr Lorna Clarke
Cr Giorgia Johnson

Central Ward

Cr Chris Cornish, Deputy Mayor
Cr Barry McKenna
Cr Sally Palmer

North Ward

Cr Filomena Piffaretti

South Ward

Cr Catherine Ehrhardt
Cr Elli Petersen-Pik

Officers

Mr Andrew Brien	Chief Executive Officer
Mr Doug Pearson	Director Works and Infrastructure
Ms Helen Smith	Acting Director Community and Development
Mr Jason Buckley	Acting Director Corporate and Strategy
Ms Karen Quigley	Manager Community Development (<i>until 7:19pm</i>)
Ms Lucy Griffiths	Leisure Planner (<i>until 7:19pm</i>)
Ms Cassandra Flanigan	Executive Support/Research Officer
Ms Jelena Misic-Hughes	Mayor and Council Support Officer

Observers

Press - 1

Public - 18

Leave of Absence

Cr Stephanie Gray

Cr Michelle Sutherland

4.1 Apologies

Nil.

4.2 Approved Leave of Absence

Councillor	Date of Leave	Approved by Council
Cr Stephanie Gray	1 July to 9 August 2019	Ordinary Council Meeting 14 May 2019
Cr Michelle Sutherland	5 July to 20 July 2019	Ordinary Council Meeting 25 June 2019
Cr Lorna Clarke	11 July to 14 July 2019	Ordinary Council Meeting 25 June 2019
Cr Giorgia Johnson	15 July to 22 July 2019	Ordinary Council Meeting 25 June 2019
Cr Barry McKenna	16 July to 19 July 2019	Ordinary Council Meeting 28 May 2019

4.3 Applications for Leave of Absence**COUNCIL RESOLUTION**

That Leave of Absence be granted as follows:

Cr Barry McKenna from 15 August 2019 to 19 August 2019 inclusive.

CR FILOMENA PIFFARETTI MOVED, CR ELLI PETERSEN-PIK SECONDED

CARRIED UNANIMOUSLY: 9/0

5. DISCLOSURE OF INTEREST SUMMARY

In accordance with section 5.65 of the *Local Government Act 1995*:

A member who has an interest in any matter to be discussed at a Council or Committee meeting that will be attended by the member must disclose the nature of the interest -

- (a) in a written notice given to the CEO before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

The following disclosures of interest were made at the meeting:

Name	Item No.	Type of Interest	Nature of Interest
Cr Barry McKenna	10.3.1	Proximity	<i>I live opposite a park named in the report and have a proximity interest (McPherson Reserve).</i>
Cr Dan Bull, Mayor	10.3.1	Proximity	<i>My home is opposite Gobba Lake – a play space.</i>
	10.4.1	Impartiality	<i>I received a gift of tickets to the applicant's industry event. The value is under the threshold.</i>
Cr Sally Palmer	10.3.1	Impartiality	<i>I am Chairperson (unpaid) of the Child Care Centres, which are mentioned in the report.</i>

6. PUBLIC QUESTION TIME

In accordance with the *Local Government Act 1995*, the *Local Government (Administration) Regulations 1996* and the *City of Bayswater Standing Orders Local Law 2018* the following procedures relate to public question time:

1. A member of the public who raises a question during question time, is to state his or her name and address.
2. Each member of the public with a question is entitled to ask up to 3 questions.
3. The minimum time to be allocated for public question time is 15 minutes.
4. Questions from the public must relate to a matter affecting the local government. Questions relating to matters of business listed on the minutes will be considered in the first instance, followed by questions relating to Council business not listed on the minutes.
5. A summary of each question raised by members of the public at the meeting and a summary of the response to the question will be included in the minutes of the meeting.
6. Where a question is taken on notice at the meeting, a summary of the response to the question will be provided in writing to the member of public and included in the minutes for the following meeting.

6.1 Responses to Public Questions Taken on Notice at the Ordinary Council Meeting of 25 June 2019**Mr Ian Walters – 124 Lawrence Street, Bayswater****Question 1****Mr Mayor, can you please advise what financial benefit does the City of Bayswater realise by being a member of the East Metropolitan Regional Council.****Answer 1**

As a participant in the EMRC, the City is able to provide services in waste management, environmental management and regional development in partnership with other EMRC member councils which helps each of the individual local governments to undertake the services and activities in a more effective manner.

In particular, the City is able to provide a cost effective waste management solution for ratepayers, enabling the City of Bayswater to provide waste management services to its residents at a competitive price relative to other Local Government Authorities. As with other local government services, this does not necessarily translate to a commercial return on investment to the City.

It should also be noted that equity is also held in a number of reserves with the EMRC which accrues interest.

Ms Erminia Giannagostino - 27 Eighth Ave, Maylands**Question 1**

My question is regarding the trees that are going to be removed and replaced in Eighth Avenue. I read the letter that was received and consultation was done through the MBA (Maylands Business Association). I live in Eighth Avenue, right in the middle, across from the entrance to the RISE. We had no consultation, and I'm just wondering, is there any way our section of Eighth Avenue can be left alone? We are quite separate to the business sector. We have massive, beautiful gum trees, not even 30 metres from where these trees are and I'm just hoping the Council can look at the possibility of leaving those trees where they are, and just looking after the business sector?

Answer 1

Please be advised that the trees are being replaced because they have not performed as they should have. They were planted approximately 11 years ago and are only a quarter of the total size that they should be and are in poor health as they are not able to cope with the impoverished sands in the area. The trees are also severely misshapen, having all been hit and damaged by vehicles at some point in their life.

Accordingly Council, at its Community, Technical, Finance and Corporate Services Committee Meeting of 20 November 2018, considered the proposed replacement of the trees in the Eighth Avenue medians from Whatley Crescent to East Street, Maylands and resolved as follows:

"That, subject to consultation with the Maylands Business Association, Council approves the removal of the 13 identified trees on Eighth Avenue, Maylands and the City's Consulting Arborist selects an appropriate replacement tree species."

In accordance with the above, consultation was undertaken with the Maylands Business Association and the process began with a short survey to determine a short list of suitable tree

species. *Angophora costata*, commonly known as smooth-barked apple and/or rose gum, will be planted. This is a proven tree species for median strips, as it is a tough resilient species that can cope with the radiant heat from road surfaces, poor soil conditions and low water levels, whilst providing excellent canopy coverage, unlike many other species. The *Angophora* will grow quicker than the current tree species and will provide decades of aesthetic canopy coverage without the need to go through the replacement process again.

For further information, a full copy of the report is available at [https://www.bayswater.wa.gov.au/city-and-council/council/council-meetings/minutess-and-minutes/2018/november/community,-technical,-finance-and-corporate-se-\(1\)](https://www.bayswater.wa.gov.au/city-and-council/council/council-meetings/minutess-and-minutes/2018/november/community,-technical,-finance-and-corporate-se-(1))

Mr Harvey Tonkin - harveyt@inet.net.au

Question 1

A few months ago, after a period of a couple of years, the building section set out criteria for protecting the street trees out the front of new building sites. Can I ask what they've actually set out? The City of Stirling has a policy where a fence is erected, which is something like two or three metres square. Does the City of Bayswater have something similar to that?

Answer 1

Since August 2017, where a street tree exists adjacent to a proposed development, a condition similar to the below has been applied on the relevant development approval and building permit.

- "1. All street tree(s) within the verge adjoining the subject property are to be retained, unless written approval has been granted by the City of Bayswater for their removal, and shall have measures consistent with AS 4970-2009 undertaken to ensure its/their protection during construction of the subject development to the satisfaction of the City, including but not limited to the following:*
- (a) A minimum 2.0m radius tree protection zone (TPZ) shall be provided through 1.8m high fencing around the verge trees (chain mesh panels or other suitable material) during construction of the subject development.*
 - (b) The above fencing is not to be moved or removed at any period during construction, and this zone is not to be entered for any reason; signage notifying people of the TPZ and the associated requirements is to be placed on each side of the fencing.*
 - (c) All activities related to construction of the subject development, including parking of vehicles, storage of materials, and washing of concreting tools and equipment is prohibited within the designated TPZ.*
 - (d) Any roots identified to be pruned shall be pruned with a final cut to undamaged wood outside of the TPZ. Pruning cuts shall be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds shall not be treated with dressings or paints. It is not acceptable for roots to be 'pruned' with machinery such as backhoes or excavators.*
 - (e) The tree(s) shall be provided with supplemental water during any construction period falling over summer, with a minimum of 150 litres being provided per week.*
 - (f) Should any works be required to be undertaken within the TPZ, approval must be given by the City prior to entering this zone. You may be required to seek advice from an Arborist in regard to the type of works being undertaken, this information is to be assessed by the City as part of the approvals to enter.*

- (g) *Any new crossover shall maintain a minimum clearance of 2.0m from the base of a street tree(s)."*

Question 2

Is it a physical barrier?

Answer 2

The tree protection zone with a minimum 2.0m radius shall be provided through 1.8m high fencing around the verge trees. Chain mesh panels or other suitable material is considered to be acceptable during construction of the subject development

Question 3

Because what I am seeing now is there are developments where no one is doing anything to protect the trees. I'm not a tree lover, but I get fed up with watching the builders knock the trees down. So do I just report it to the Compliance Officer?

Answer 3

The current process is considered as a compliance matter where it is reported to the City for investigation and appropriate action to ensure compliance with the City's requirements.

6.2 Public Question Time

Public Question Time commenced at 6:32pm.

The following questions were submitted verbally:

Mr Ian Walters – 124 Lawrence Street, Bedford

Question 1

I have received the City's response to my question raised at the last Ordinary meeting of the City. The response received did not address my question, which was: *Please advise what financial benefit does the City of Bayswater realise by being a member of the East Metropolitan Regional Council and please advise when I may expect a response to the question?*

Answer 2

Andrew Brien, Chief Executive Officer advised that the City would provide a copy of the letter to the Mayor for his review.

Question 2

My next question relates to the Chief Executive Officer Review Committee Minutes dated 2 July 2019, whereby consideration was given to the appointment of an independent facilitator to assist with the CEO's Annual Performance Review. My question is, that the key performance indicators are established, so why can't they be monitored by the Committee without any additional cost to the ratepayers?

Answer 2

Cr Dan Bull, Mayor advised the short answer was that Councillors can undertake the review with or without assistance from an expert who assists, it's not actually unusual for local governments to seek third party assistance. Last year we didn't, we did it ourselves, and this year Council has decided to utilise the expertise of a third party.

Question 2A**Is there some deficiency in setting the KPIs?****Answer 2A**

Cr Dan Bull, Mayor advised that it was not about the KPIs really, it was more about the process and making sure that it was done the best that it can, because we have to remember that at the end of the day, this is about the performance of an individual person, which is our CEO, and he wanted to make sure that we undertake that process in the most effective and appropriate way possible.

Question 2B**The Minutes advise that the appointment will assist in providing transparency and accountability. Please advise how this will be achieved?****Answer 2B**

Cr Dan Bull, Mayor advised that in his view, it increases the level of probity because there is a third party who comes in to facilitate the process.

Mr Walters stated that if you set the KPIs it's very clear how you're going to achieve it, when you're going to achieve it and review it.

Ms Karen Byrde – 113 Crawford Road, Maylands

Question 1

My question tonight is in relation to the Communicare Breathing Space facility that's being proposed for Maylands. My question is, what is the approach that the City of Bayswater will be taking to determine whether the Department of Communities and Communicare requires planning approval to operate a 24/7 intensive therapeutic rehabilitation facility?

Answer 1

Cr Dan Bull, Mayor advised he was aware that the Acting Director Community and Development had been looking at the proposal from a planning perspective and had been liaising with Communicare, and could provide deeper insight into that process and also what Council's role is or isn't in that process.

Helen Smith, Acting Director Community and Development advised that the City has been involved with the Department of Communities and Communicare on two separate face to face occasions. She and another planning officer had visited the facility and been shown around the site. The City has raised with the Department of Communities what the existing approval is for, which was issued by the City of Stirling back in 1987, and the City was questioning the additional activities which are occurring on the site, as to whether they believe that they're consistent with the approval which is in place. They've gone away and they've sought advice from planning consultants, and the City was also seeking advice from another local government authority who have approved an almost exact replica of the Breathing Space facility in Calista. The City was awaiting that document to come through to see whether there is similarities with the way in which the City is considering the use. In the event that the City finds that the proposed use, as it's about to operate, is not consistent, then further planning approval would be required and it would be regarded as public works. They would then need to submit an application to the City, we would advertise it, but essentially the local government is not the determinant of public works and it would be determined by the Department of Planning, Lands and Heritage.

Question 2

So my next question, which relates to that, is assuming that the City of Bayswater considers that a planning approval is required, what action will the City take in relation to

the facility should the Department of Communities and Communicare continue to operate the facility without the requisite approval? Because we were given communication on Friday that the facility was opening on Monday this week.

Answer 2

Helen Smith, Acting Director Community and Development advised that the City was awaiting that information from the Department of Communities. The City wouldn't necessarily take action to stop them operating. The City's practice generally where a use doesn't have the full breadth of approval, they have the opportunity to submit a retrospective application and that would be the process which I just outlined previously. But at this point in time, the City hadn't made a determination, it was still awaiting that information. The Department of Communities was very mindful of the community concern and also that the City wishes to make a final determination on this matter.

Question 3

My last question is, we understand that you've requested the information regarding the City of Kwinana approval for the Calista site. If this information is provided, how will this assist the City of Bayswater to make a determination? And I just want to note that the City of Kwinana does have Casuarina Prison within its jurisdiction, so a facility of that nature for perpetrators of domestic violence falls under a similar type of facility. The City of Bayswater doesn't have such a facility in its jurisdiction.

Answer 3

Helen Smith, Acting Director Community and Development advised that what the City would be looking at when we receive the information from the City of Kwinana is similarity with the definitions in the Town Planning Scheme, and the actual approval which has been given to that Breathing Space. Most Town Planning Schemes have similarities in terms of definitions and use classes. So that's what the City is looking for.

Question 3A

If the City of Kwinana has the residential building definition or term and the boarding house term, I'd like to understand how a rehabilitation use fits into that?

Answer 3A

Helen Smith, Acting Director Community and Development advised that the City was not saying that the use fits into it – it was asking them to convince us that it does. The City had made them aware that there's activities which are silent in the residential building and hostel definitions. So what the City was seeking from the City of Kwinana approval was whether the range of activities have been upfront and have been through the process, and that they actually fall within the definition that they've given approval for. So they're the similarities that we're looking for.

Ms Denise Follett – 112A Crawford Road, Maylands

Question 1

I had similar questions to Ms Byrde's, but I won't repeat those. But I'm curious about what information we're waiting for from the Department of Communities. They've sought independent consultant's advice and obviously we're waiting for advice from the City of Kwinana to help the City determine whether the proposed use is consistent with the approved use. What other advice has the Council sought to help them make this determination?

Answer 1

Helen Smith, Director Community and Development advised that what the City looks at is the existing approval and the proposed activities of this proposed use, whether they marry up. As she had said, there's parts of the proposed use, some of the activities which are being proposed,

which aren't necessarily listed in the definition of a hostel or a residential building. The City has made them aware that there are those concerns. The similarities which we would be looking for of the Calista site is basically that they're the same use. Bearing in mind that this is probably only the second one in Western Australia. Town Planning Schemes aren't always up to date with new types of uses, so we need to be broad minded in terms of how we look at new uses and not necessarily try to preclude them, but obviously we have to be mindful of the impact.

Question 2

My second question therefore relates to the fact that obviously there was clear intent to commence the service on Monday without waiting for the Council's determination. Did the Council give the Department of Communities and Communicare any specific advice it was contrary to good interest to open the service without approval without determination?

Answer 2

Helen Smith, Acting Director Community and Development advised that the City had been very open with the Department of Communities and with Communicare that the proposed use hadn't been determined as fitting within the approved use. They were mindful, as she had said, that the City was keen to get that information as soon as possible, so that not only can the City make a determination, but we can pass that information on to the community.

Ms Jane Allen – 148 Crawford Road, Maylands

Question 1

I've got a couple of questions about the Communicare Breathing Space as well. My first one is around why wasn't I consulted or engaged with, as a local rate payer and voter, around the opening of this facility?

Answer 1

Cr Dan Bull, Mayor advised that the facility was coming through a state regime, it was not a local government facility. As the Acting Director Community and Development said, there would potentially be a point where an application would need to be advertised, but in terms of the decision around the state government – the Department of Communities and Communicare – that question really was better posed to them.

Question 2

Because it just raised up in my mind, I guess, because if you want to remove a street tree, you have to put up a public notice and have people comment on it for two weeks at a time and yet we're allowed to have a centre opened in our local neighbourhood without being advised that there's going to be up to nine perpetrators of domestic violence. I think naturally everybody has concerns around the safety of themselves, their neighbours, vulnerable children, et cetera. So my next question around that has already been covered off by the previous ladies. So my third question is, if the approval is given by the City of Bayswater for this to continue, because they opened yesterday, I understand there's two residents there already. They've apparently got a 7pm curfew. So this is obviously probably well outside the Council's power, but I would like to request that the 7pm curfew be moved to 3pm in the afternoon, and that the City of Bayswater support that.

Answer 2

Cr Dan Bull, Mayor advised that there were a couple of aspects to that question. He thought that the question around the curfew timing was one that needed to be put to Communicare. Also, just picking up on a comment from the Acting Director Community and Development, because it was public works, the ultimate decision maker was not the City of Bayswater, it was the Department of Planning, Lands and Heritage. So the role of the City of Bayswater was to undertake the assessment, do the advertising if that's needed, and then put a recommendation to the Department.

Question 2A

So my third question then becomes, how does the City of Bayswater guarantee my property value? Because I didn't purchase a house fifteen years ago to live around the corner from nine violent blokes, 80 percent of whom are directly out of prison. If I wanted to do that, I would have bought a house closer to a prison.

Answer 2A

Cr Dan Bull, Mayor stated that he understood Ms Allen's concerns. It was not the job of the City of Bayswater to guarantee her house value.

Ms Allen stated that her rates were going to stay the same even though her property value was probably going to go down, and that it was clearly an emotive issue.

Mr Sean Chinnery – 47 Kennedy Street, Maylands

Question 1

A lot of my questions have been already asked, which is quite good. One general question, when the Council's dealing with Communicare Breathing Space issues, I understand that planning goes to the Department of Planning. But in terms of activity use at the site, I'm hearing conflicting messages as to whether you're going to Communicare or whether you're going to the Department of Communities. So I'd like to understand – my understanding is Communicare is just an agent and the next contractor could be Jim's Mowing site services. How do you decide that you're going to the contractor when really it seems like the Department of Communities is actually the one holding the whip hand with them? So how do you decide who you deal with?

Answer 1

Helen Smith, Acting Director Community and Development advised that the landowner is the Department of Communities and that's who the City has been dealing with. Communicare have a service agreement with the Department of Communities, and they have made it clear to us, in terms of the use, that's the Department of Communities.

Question 2

My second question would be that you've talked about how you've had one visit to the site already. If Communicare or the Department of Communities come back and say, no, it's all in line with what planning of the site usage is, would you consider a return visit at a time when they're actually functioning?

Answer 2

Helen Smith, Acting Director Community and Development advised that, to clarify, the City has had one onsite visit and then we had another meeting here at the City. So she has had two face to face interactions. She has all the service agreements. The City has information about how the use operates, and that's why we've raised these concerns with the Department of Communities that there appears to be activities which don't fall within the definition of the approval.

Question 2A

But if this was someone running an illegal mechanics workshop, you're not going to go there before he opens the business, you would make sure you'd visit it while he was operating, wouldn't you? So, this is the situation, you actually visited the site and talked to them before there's actually any participants in situ there, whereas surely for you to test the grounds of what they're actually telling you, wouldn't it make more sense to go there when it's actually operational?

Answer 2A

Helen Smith, Acting Director Community and Development advised that may be the case, however, the City was not there yet.

Question 3

The third question I have is, has the Department of Communities, or an agent of that Department, sought advice or approvals to expand the capacity to house domestic violence offenders within the City of Bayswater either on this site or an alternative site within the City?

Answer 3

Helen Smith, Acting Director Community and Development advised that the Department of Communities made contact with the City in May asking whether the site still had approval. As one may or may not know, planning approval is permanent. So once you have a planning approval it goes on all the while you wish it to, unless there's provisions otherwise. So in this case, the property has approval which was issued by the City of Stirling back in 1987. So she confirmed with the Department of Communities that yes, the site has approval for a purpose.

Question 3A

I think you misunderstand my question. So, in the Calista site they actually increased the usage of the site by building six units for violent offenders to stay from three to nine months. I'm concerned now the violent offenders has gone from 12 to 21 violent offenders at any one time. They'll want to increase that long stay capacity beyond the six units and most likely would be in the City. What I'm asking is, has there been any moves from the Department of Communities or an agent of theirs, similar to Communicare or someone else, to actually seek approval for a similar extension here?

Answer 3A

Helen Smith, Acting Director Community and Development, replied in the negative.

Question 3B

If there was to be such an application, would that be notified to the public and would we be known?

Answer 3B

Helen Smith, Acting Director Community and Development, replied in the affirmative.

Ms Suzanne Brown – 3/102 Drummond Street, Bedford

Preamble

The subject is compliance with building permit regulations and legislation and the enforcement. Just as a brief overview, I did send this through to Council yesterday. I just want to let you know about my recent experience with a registered builder carrying out renovations on my home in May 2017 without obtaining a building permit to remove a load-bearing wall.

I have since applied for retrospective building approval and received the Building Approval Certificate, at considerable cost to myself.

I reference my email to the City of Bayswater dated 25 June 2019 and the City's response dated 5 July 2019.

Prior to my above email, I did contact the Council by phone on 25 June 2019 and explained the circumstances. I was told that my complaint would be passed onto the City's solicitors but it would be unlikely that they would proceed as the builder would probably

only get a fine of \$500 and they would need to weigh up the cost of prosecuting the builder – but to email the Council anyway.

The Council's email of 5 July 2019 stated in the second to last paragraph *'it is considered that the building works relate to an internal wall removal within a private property and as such it would not be in the public interest for the City to undertake further action in this instance.'*

In my case, it involved the removal of a small internal load-bearing wall, but I'd hate to think what the structural consequences may have been had it not been done correctly. This not only could have adversely affected me but any future owner.

If I had not been alerted to the requirement for a building approval for this work, I could have also been drawn into litigation with any future purchaser and/or the City of Bayswater for falsely declaring that any building works had been approved.

A breach of the legislation is a breach regardless of the size or value of the building work undertaken. If building work requires a building permit, it requires a building permit with the legislated penalty being sought from the offender if a building permit is not applied for and approved prior to commencing the work.

Question 1

Why does the Council feel it is not in the public interest to prosecute and weed out builders who clearly have no regard for the building legislation in WA eg Home Building Contracts Act 1991, or the Building Act 2011?

Answer 1

Cr Dan Bull, Mayor thanked Ms Brown for providing her questions prior to this meeting, and advised that he had a response from the City which he would read out:

The City does not administer the Home Building Contracts Act 1991, and can therefore not make comment in this regard.

The City granted a Building Approval Certificate (BAC) on 1 February 2019 so as to assist in resolving the matter of the unauthorised building works.

Notwithstanding the above, that the BAC has been issued and there is an absence of any ongoing risk or harm, the City does not consider that a prosecution against the builder is therefore in the public interest in this instance.

Further, from correspondence between you and the City's officers, it is understood the Building Commission has commenced action against the builder in relation to your claims and that there may be further outstanding matters to be resolved at the State Administrative Tribunal.

Ms Brown stated that the Building Commission Enforcements branch had advised her that the matter in regard to not getting a building permit did not fall under their responsibility – it was local government. So that was why she had come here. The answer read out by the Mayor did not answer her question.

Question 2

Just from some brief research on the internet, the Building Act 2011 clearly states in Part 2 Div 1 *'Building or demolition permit generally required for building or demolition work'* s.9 *'No building work without a building permit': unless*

- (a) – (d). The penalties are listed directly below the above: eg (a) first offence, a fine of \$50,000.

Why then was I told by the Council in my telephone call of 25 June 2019 that the builder would probably only receive a fine of \$500 and therefore the Council would probably not proceed? That a big difference – \$50,000 to \$500.

Answer 2

Cr Dan Bull, Mayor read out the following response from the City:

The \$50,000 fine prescribed in section 9 of the Act is a maximum penalty which can be handed down by a Magistrate for a first offence in relation to building work being undertaken without a building permit being in effect. However, the fine is determined by the Magistrate on the day and is based on the severity of the offence amongst other contributing factors unknown to the City.

The City's experience in prosecutions relating to the Act is that fines handed down by Magistrates seem to generally be at a lower end of the spectrum: the City is unaware of any fines close to the \$50,000 maximum penalty prescribed in the Act.

The City is of the view that, given a BAC has been issued and there is an absence of any ongoing risk or harm, the City does not consider that a prosecution against the builder is therefore in the public interest in this instance.

Question 2A

But again, my question is, a breach is a breach. We have registered builders out there who are doing the wrong thing. How are we going to weed them out if the government local authorities aren't prepared to administer the Act and the legislation as it stands?

Answer 2A

Cr Dan Bull, Mayor advised that he thought he had responded to those questions.

Ms Brown stated that she just wanted to make her point that something needs to be done about the building industry.

Mrs Lorene Lee Clohesy – 40 Carrington Street, Inglewood

Question 1

I'm right on the border so I have the joys of two Councils to deal with. My discussion point is in regard to the domestic violence centre at 6 Cambridge Street. We're hearing a lot about, it's a government decision and it has to go here, the Council can't do that, we can't intervene, we can only advise. Very simplistic – why can't the City of Bayswater represent its ratepayers, who are extremely upset? We've got a lot of properties at the moment that are for sale in our area, and a development on the corner of Oxford and Kennedy. Now, I'm thinking, someone comes into the City of Bayswater, what are the guys on the desk going to say to future home builders? Is there any legal obligation for the City of Bayswater to actually tell these people about this centre? That's one question. Because you're going to be pretty aggro if you pay the \$900,000 of one property directly opposite me in Inglewood. You go around the corner and you've got guys direct from jail.

Answer 1

Cr Dan Bull, Mayor advised that, in terms of representation, he knew that the South Ward Councillors had been very involved in this and they had been in discussions with him about it as well. He had also made a number of direct representations to the state Member of Maylands, as well as her staff, too, on the basis of which Mrs Clohesy and others had mentioned, so they weren't just sitting here and doing nothing, they'd been active in that process. The state Member had said to him that she would make herself available for anyone who wanted to meet with her to

also discuss this matter with her, and he urged every person who had concerns around this to be taking her up on that offer, and he would continue to make representations on this. He would most definitely call her office tomorrow and let her know about the discussions that had gone on tonight. He would continue to undertake that.

Andrew Brien, Chief Executive Officer advised that, generally speaking, when people do a property search, there are specific issues that are listed. If a block was around the corner, it wouldn't necessarily be picked up through that process, and it really is a matter of the buyers actually understanding what's out there. So it won't come up unless it's an adjoining property, in a normal rates search.

Question 2

We've got a park virtually next door to this centre that's been upgraded – any time of the day you've got mums, you've got grandparents. We've got a very high density area that this domestic violence centre is being plonked into. Now, my argument is, why can't the City of Bayswater come up with a pretty forceful suggestion to all these bodies that are hand passing this problem and say, why can't we put this centre into a light industrial Bayswater area where it's low density? The argument that they've got to have public transport, well, there's still trains and buses in the Baysie light industrial. Given that the Harrow Street side of the domestic violence centre is up for affordable housing, why can't we have the centre demolished and also have affordable housing, so it goes right through from Cambridge to Harrow? This would completely solve the problem for everybody, end of aggro. It might seem very simplistic, but that's how I think.

Answer 1

Cr Dan Bull, Mayor advised that, in terms of the queries around demolition and affordable housing, because that is a state owned block of land, the City can't force the state government to demolish or build.

Mrs Clohesy stated that she didn't think caveat emptor was enough. There were four developments on the corner of Oxford and Kennedy directly opposite her going ahead. People were going to buy at auction and then get this little blow from nowhere. And then in Inglewood, as she said, there's a \$900,000 property over the road from her just about sold. She had told the agents that this was happening, she could say she'd got up at Council and she'd said it as well, so everyone was fully aware. You buy a property, surely that has to end some kind of contractual arrangement, because you don't buy a property expecting to have guys direct from jail living on your doorstep. So there were all those legal complications for the Council, and as she'd said, the problem could be solved if it's just moved out of a high density area. We're happy with affordable housing.

Cr Dan Bull, Mayor thanked Mrs Clohesy and everyone else for taking the time to ask their questions.

Public Question Time was closed at 7:06pm.

7. CONFIRMATION OF MINUTES**7.1 Ordinary Meeting: 25 June 2019****COUNCIL RESOLUTION**

The Minutes of the Ordinary Meeting of Council held on Tuesday, 25 June 2019 which have been distributed, be confirmed as a true and correct record.

CR SALLY PALMER MOVED, CR ELLI PETERSEN-PIK SECONDED

CARRIED UNANIMOUSLY: 9/0

7.2 Special Meeting: 2 July 2019**COUNCIL RESOLUTION**

The Minutes of the Special Meeting of Council held on Tuesday, 2 July 2019 which have been distributed, be confirmed as a true and correct record.

CR BARRY MCKENNA MOVED, CR CATHERINE EHRHARDT SECONDED

CARRIED UNANIMOUSLY: 9/0

8. PRESENTATIONS**8.1 Petitions**

Nil.

8.2 Presentations

Nil.

8.3 Deputations**COUNCIL RESOLUTION**

That in accordance with the *City of Bayswater Standing Orders Local Law 2018*, Council agrees to receive the deputation submitted for item 10.4.2.

CR FILOMENA PIFFARETTI MOVED, CR SALLY PALMER SECONDED

CARRIED UNANIMOUSLY: 9/0

1. Proposed Change of Use to Health Studio and Associated Alterations

Location: Lot 75, 484 Walter Road East, Embleton

In relation to Item 10.4.2, Trent Will (Associate, Planning Solutions – Level 1, 251 St Georges Terrace on behalf of Forrest Highway Developments Pty Ltd) was in attendance speaking in support of the officer's recommendation (*refer page 129*).

8.4 Delegates Reports

Nil.

9. METHOD OF DEALING WITH MINUTES BUSINESS

With the exception of items identified to be withdrawn for discussion, the remaining reports will be adopted by exception (enbloc).

An adoption by exception resolution may not be used for a matter:

- (a) that requires a 75% majority or a special majority;
- (b) in which an interest has been disclosed;
- (c) that has been the subject of a petition or deputation;
- (d) that is a matter on which a Member wishes to make a statement; or
- (e) that is a matter on which a Member wishes to move a motion that is different to the recommendation.

Withdrawn items:

- | | |
|--------|--|
| 10.3.1 | An interest has been disclosed and is a matter on which a Member wishes to make a statement. |
| 10.4.1 | An interest has been disclosed. |
| 10.4.2 | Has been the subject of a petition or deputation. |
| 10.4.4 | Is a matter on which a Member wishes to make a statement. |

10 REPORTS

10.1 Chief Executive Officer Reports

Nil.

10.2 Corporate and Strategy Directorate Reports

Nil.

10.3 Works and Infrastructure Directorate Reports**10.3.1 Draft Play Space Strategy**

Responsible Branch:	Project Services	
Responsible Directorate:	Works and Infrastructure	
Authority/Discretion:	<input type="checkbox"/> Advocacy <input checked="" type="checkbox"/> Executive/Strategic <input type="checkbox"/> Legislative	<input type="checkbox"/> Review <input type="checkbox"/> Quasi-Judicial <input type="checkbox"/> Information Purposes
Voting Requirement:	Simple Majority Required	
Attachments:	1. Play Space Strategy Draft – June 2019	
Refer:	Item 10.3.1 OCM 26.03.19	

CR SALLY PALMER DECLARED AN IMPARTIAL INTEREST

In accordance with regulation 11 of the Local Government (Rules of Conduct) Regulations 2007, Cr Sally Palmer declared an impartial interest in this item as she is Chairperson (unpaid) of the Child Care Centres, which are mentioned in the report. Cr Sally Palmer remained in the room during voting on this item.

CR BARRY MCKENNA DECLARED A PROXIMITY INTEREST

In accordance with section 5.60b of the Local Government Act 1995, Cr Barry McKenna declared a proximity interest in this item as he lives opposite a park named in the report (McPherson Reserve). At 7:14pm, Cr Barry McKenna withdrew from the meeting.

CR DAN BULL, MAYOR DECLARED A PROXIMITY INTEREST

In accordance with section 5.60b of the Local Government Act 1995, Cr Dan Bull, Mayor declared a proximity interest in this item as his home is opposite Gobba Lake – a play space. At 7:14pm, Cr Dan Bull, Mayor withdrew from the meeting.

The Deputy Chairperson, Cr Chris Cornish, Deputy Mayor, assumed the Chair.

SUMMARY

Council consideration is sought on the final draft Play Space Strategy.

The strategy has been developed in accordance with action C1.1.8 of the City's Corporate Business Plan (CBP). The purpose of the strategy is to guide the future planning, design and implementation of play associated infrastructure across the City.

The aims of the Play Space Strategy are to:

- Be responsive to change and community demand;
- Provide a strategic approach to decision making; and
- Provide a variety of play experiences in local areas for the whole community to enjoy.

The draft Play Space Strategy summary document was released for public comment during the month of April 2019. The summary document was created with the intention to convey key information to the community in a simple format, rather than releasing the full strategy document for feedback. The final draft Play Space Strategy in its entirety is attached to this report for Council consideration.

Community feedback on the draft summary was positive and supports the proposed approach to future play space planning, design and implementation. The community engagement outcomes are detailed in this report.

The amendments to the draft Play Space Strategy relating to shade and accessible pathways as resolved at the Ordinary Council Meeting on 26 March 2019 have been included in the final draft strategy:

- accessible pathways have been included at all classification levels outlined in the proposed Parks and Play Space Classification Hierarchy, contained in the strategy; and
- A Shade Installation Program has been developed to increase shade at all of the City's play spaces.

COUNCIL RESOLUTION **(OFFICER'S RECOMMENDATION)**

That Council adopts the Play Space Strategy as contained in Attachment 1.

CR SALLY PALMER MOVED, CR ELLI PETERSEN-PIK SECONDED

CARRIED UNANIMOUSLY: 7/0

BACKGROUND

At the Ordinary Council Meeting on 26 March 2019, Council considered a report presenting the Draft Play Space Strategy summary document and resolved as follows:

"That Council:

- 1. Notes the Draft Play Space Strategy Report.*
- 2. Approves the Draft Play Space Strategy summary document for public comment.*
- 3. Considers a report on the outcomes of the community consultation of the draft Play Space Strategy after it has concluded.*
- 4. Approves the Draft Play Space Strategy be amended to include fully accessible pathways in all of the City's Play Spaces.*
- 5. Requests that the Draft Play Space Strategy be amended to also include an action to develop a long-term program to progressively shade all of the City's playgrounds, including through the use of shade sails and/or the planting of large canopy trees close to play equipment (where it is possible)."*

In accordance with the above, Council approved the draft summary document for public comment and to receive a further report at the conclusion of the public comment period.

EXTERNAL CONSULTATION

The feedback period for the draft summary of the Play Space Strategy was conducted for three weeks in April 2019. The following engagement methods were used:

1. Online engagement via the Play Space Strategy project page on Engage Bayswater. The draft summary was provided for download and interested community members were invited to provide feedback via an online submission form.
2. The draft summary document was displayed at the Civic Centre and outstations:
 - Bayswater Waves
 - Bayswater library
 - Maylands library
 - Morley library

- The RISE

Hard copy submission forms were provided at all above venues.

3. Community members who participated in previous engagement phases throughout the project were provided an update and invited to comment.
4. Information signs were placed at the following key play space destinations for the duration of the public comment period providing update information and direction links to the various engagement methods:
 - Bardon Park;
 - Bert Wright Park;
 - Riverside Gardens; and
 - Robert Thompson Reserve.

During the draft play space strategy public comment period the Engage Bayswater online platform showed 321 visits to the project page, 147 downloads of the draft summary document and 16 online submission forms were received.

Of the sixteen submissions received the majority of responses were supportive of the strategy. Five highlighted issues in specific reserves and some commented on the type of play they would like to see, improvements in park infrastructure, safety, or accessibility.

Feedback themes were generally aligned with those noted in previous engagement phases conducted to inform the strategy.

OFFICER'S COMMENTS

The draft Play Space Strategy has been developed as an overarching framework that is responsive to changing community needs and will guide the future planning, design and management of play spaces across the City for the whole community to enjoy. The full strategy document is included as **Attachment 1** to this report.

The draft Play Space Strategy is aligned to the Public Open Space Strategy, which identifies all the Public Open Space (POS) in the City, evaluating the current and future needs for POS, population forecasts and significant trends impacting the provision of POS. Aligning with this strategy ensures consistency in terminology used to refer to areas of POS within the City, and a more informed approach to development of the City's play spaces.

The strategic plan advocates that any play space redevelopment undertaken should be a holistic whole park approach including a range of community infrastructure such as seating, pathways, shade, play equipment and other supporting infrastructure as required such as landscaping, fencing, drinking water and BBQ's etc.

Structure and Scope

The strategy is structured in two parts. Part 1 is focused on the current state of play space development and contains:

- Background information on the project scope, context and process;
- Desktop review and analysis of literature relating to parks and play spaces;
- Key findings from an audit of the City's play spaces;
- Overview of current approach to play equipment replacement;
- Key findings from community engagement.

Part 2 of the strategy outlines the proposed approach to future play spaces, informed by Part 1:

- Guiding Principles underpinning the approach to future planning and development;
- The Parks and Play Space Classification Hierarchy, a key tool to guide redevelopments that is aligned with the POS Strategy terminology;
- Description of parks infrastructure provided at various classification levels;
- Recommendations for future play space developments including the provision of shade and inclusion of accessible pathways in all City play spaces as outlined below.

Play Space Redevelopment Program (July 2019 to June 2022)

The Play Space Strategy proposes that the current annual Playground Replacement Program is refined to reflect the intended use of the whole park or reserve, rather than focussing on the play equipment in isolation. The strategy proposes a Play Space Redevelopment Program comprised of sites with play equipment due for replacement as guided by a number of factors including age, condition, function and community demand.

The strategy includes proposed sites in detail for the first three years, commencing July 2019. Community input will further inform annual play space redevelopments. It should be noted that this program does not negate the City's ability to respond to ad-hoc community requests and adapt to local circumstances.

Future Implementation Plan (2022 - 2032)

This plan is guided by an independent condition audit of play equipment conducted a minimum of every three years that identifies an anticipated play equipment replacement year. This is subject to change based on asset condition, preliminary analysis and available resources. The plan categorises the play spaces by two main actions:

- *Maintain* - Maintain the play space at the specified Parks and Play Space Classification Hierarchy level. Play space to be redeveloped in line with the estimated play equipment replacement date, based on detailed analysis and community feedback;
- *Enhance* - Enhance play space to align with the Parks and Play Space Classification Hierarchy. Play space to be redeveloped in line with the estimated replacement date, based on detailed analysis and community feedback.

The intention of the Future Implementation Plan is a guide, rather than a prescriptive schedule of works. This allows decisions to be made with flexibility, in line with the Guiding Principles. Further analysis will occur prior to the estimated year of replacement in the annual Play Space Renovation Program, along with community engagement and will be presented annually to Council for budget deliberation. The plan does not include scope for removal or rationalisation of play equipment without further community input and Council approval.

Annual Shade Program

Following the amendment noted at the Ordinary Council Meeting on 26 March 2019, City officers analysed the current shade cover over all play equipment at parks and reserves across the City using data capture in the City Spatial Geographic Mapping Portal. Officers then used this data to inform criteria for decision-making around the type of shade (natural / shade sail) and area (number of trees / shade sail size) required for each classification level of park.

The draft Play Space Strategy recommends an annual shade program for additional shade sails (where required) to be implemented in conjunction with the Play Space Redevelopment Program. The planting of additional trees to provide natural shade can be actioned immediately where it is practical to do so in conjunction with existing tree planting programs. This will allow for maximum

flexibility in shade design and coverage when planning the overall site and play equipment placement.

It is anticipated this program will be funded separately each year, in accordance with Council budget approvals. The proposed tree planting for 19/20 is funded as part of existing programs.

Each year (commencing 2020/21), a program of sites to be shaded will be submitted for Council consideration in the draft budget based on the following information:

- Site, location and classification level
- Shade type – sail or natural
- Installation and life cycle costs for each
- Anticipated schedule of implementation

LEGISLATIVE COMPLIANCE

Australian Standards as applicable to play spaces.

OPTIONS

In accordance with the City's Risk Management Framework, the following options have been assessed against the City's adopted risk tolerance. Comments are provided against each of the risk categories.

Option 1	That Council adopts the Play Space Strategy as contained in <u>Attachment 1</u>.		
Risk Category	Adopted Risk Appetite	Risk Outcome	Assessment
Strategic Direction	Moderate	Low	
Reputation	Low	Low	
Governance	Low	Low	
Community and Stakeholder	Moderate	Moderate	
Financial Management	Low	Low	
Environmental Responsibility	Low	Low	
Service Delivery	Low	Low	
Organisational Health and Safety	Low	Low	
Conclusion	The recommendation presents the lowest risk and is aligned with community expectations for service levels in parks and play spaces.		

Option 2	Council does not adopt the proposed draft Play Space Strategy.		
Risk Category	Adopted Risk Appetite	Risk Outcome	Assessment
Strategic Direction	Moderate	Moderate	
Reputation	Low	Moderate	
Governance	Low	Low	
Community and Stakeholder	Moderate	Moderate	
Financial Management	Low	Low	
Environmental Responsibility	Low	Moderate	
Service Delivery	Low	Moderate	
Organisational Health and Safety	Low	Low	
Conclusion	Not progressing a Play Space Strategy will present a higher risk in the areas of Reputation and Community and Stakeholder given the positive community		

	feedback received to date regarding the draft strategy. There is also a higher risk in the area of service delivery and environmental responsibility given community expectation around appropriately planned facilities and links between the play space and surrounding environment.
--	--

FINANCIAL IMPLICATIONS

The following financial implications are applicable:

Item 1: 2019/20 Play Space Redevelopments

Asset Category: Renewal

Source of Funds: Municipal

LTFP Impacts: Funding Noted In LTFP

Notes: Additional funding required for shade sail installations identified for 2019/20 may be considered through budget review and Public Open Space Cash in Lieu Developer Contributions.

ITEM NO.	CAPITAL / UPFRONT COSTS (\$)	ONGOING COSTS (\$) ANNUAL		INCOME (\$)	ASSET LIFE (YEARS)	WHOLE OF LIFE COSTS (\$)	CURRENT BUDGET (\$)
		MATERIALS & CONTRACT	STAFFING				
1	\$350,000	\$350,000			15 years		\$350,000

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme: Our Community

Aspiration: An active and engaged community

Outcome C1: A strong sense of community through the provision of quality services and facilities.

It is considered that the draft Play Space Strategy will assist Council in delivering improved play outcomes to the community through a strategic approach underpinned by defined guiding principles.

CONCLUSION

The City recognises and values the importance of play spaces to the whole community. The Play Space Strategy is the outcome of comprehensive community engagement, research and analysis undertaken to devise an approach that will deliver improved play outcomes in future years, reflecting community expectation and aligned with the City's strategic direction for Public Open Space.

At 7:19pm, Cr Dan Bull, Mayor and Cr Barry McKenna returned to the meeting. Cr Dan Bull, Mayor resumed the Chair.

At 7:19pm, Cr Elli Petersen-Pik left the meeting.

At 7:19pm, Ms Karen Quigley, Manager Community Development, and Ms Lucy Griffiths, Leisure Planner, left the meeting and did not return.

Attachment 1

Play Space Strategy

Draft - June 2019



bayswater.wa.gov.au

City of
Bayswater



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Acknowledgement

Noongar language interpretation

Ngalla City of Bayswater kaatanginy baalapa Noongar Boodja baaranginy, Wadjuk moort Noongar moort, boordiar's koora koora, boordiar's ye yay ba boordiar's boordawyn wah.

English language interpretation

The City of Bayswater acknowledges the Traditional Custodians of the land, the Whadjuk people of the Noongar Nation, and pays its respects to elders past, present and emerging.

Executive Summary

The development of a Play Space Strategy for the City of Bayswater is identified in the 2017/18 Corporate Business Plan. The strategy analyses current play spaces, and will help the City to plan for their provision more effectively in the future.

What is a play space?

A place that allows all people, regardless of age or ability, to experience physical and creative play, social interaction and physical activity.

- *Play spaces can be standalone or co-located with community and sporting facilities; in natural environments, public open space or urban areas*
- *Play spaces accommodate a variety of uses, amenities and elements.*

This definition is the result of preliminary engagement and research into the role that play spaces hold in the City and in people's lives. Previously, the City's policy for play spaces was limited to playgrounds in isolation, and focused primarily on replacement, installation and management of play equipment.

This strategy recognises the importance of a broad view approach to the planning of play spaces, taking into consideration the environment, and the existing provision of Public Open Space and play experiences offered within a local area.

An audit of all 169 parks and reserves provided an overview of the standard of parks and play spaces in the City, highlighting both good examples and challenging areas.

A comprehensive campaign of engagement activities was conducted between February and November 2018, including online surveys, community drop-in sessions, and ideas sessions with a broad range of community members, including school students. Along with many positive responses and creative ideas for how the City can improve play experiences, other areas highlighted by community members were the need for:

- A broader range of play types and activities outside of the standard plastic play equipment designed for 3 to 10 year olds
- Additional supporting infrastructure around play spaces including shade over play equipment, seating, BBQs and picnic tables
- Improved access to and around play spaces through path networks and connections
- Integration of play into the natural environment
- Mix of play activities to cater for more than one age group in bigger play spaces.

All of the findings were analysed, refined and grouped into focus areas reflecting community feedback, asset management principles, and improved distribution of play opportunities throughout the City.

Based on this analysis, three guiding principles were developed:

- Quality local provision
- Effective and sustainable asset management

- Annual assessment.

These principles are discussed in detail in the body of this report.

The strategy includes a 10 year Future Implementation Plan. Each year, the City will review this plan and propose a program of play space redevelopments. This program will be presented to Council for consideration and budget allocation annually following engagement with the local community. Any annual program proposed is subject to change depending on identified local circumstances.

It is anticipated the Play Space Strategy will be reviewed every three years, with a major review in 2029.

Although play can technically happen anywhere, the purpose of this strategy is to build on the analysis provided in the City's Public Open Space Strategy; therefore the focus is on existing play spaces within parks and reserves.

Part 1

1. Introduction

The Play Space Strategy is the first of its kind to be developed for the City. The development and implementation of a City-wide Play Space Strategy (PSS) was included as an action in the 2017/18 Corporate Business Plan. The purpose is to provide a framework to guide the planning, design and management of play spaces across the City.

The aims of the PSS are to:

- Be responsive to change and community demand
- Provide a strategic approach to decision-making
- Provide a variety of play experiences in local areas for the whole community to enjoy.

The process for developing this strategy included:

- Assessment of current play spaces to identify gaps and issues and build on the information provided by the City's Public Open Space Strategy
- Extensive engagement with the community to gather data on use, assess demand, generate ideas and determine priorities for future works
- Desktop review and analysis to understand the importance of play, current trends and benchmarking with other local governments
- Audit of 169 parks and reserves in the City, with and without play equipment
- Review of the previous, and development of a new, classification hierarchy for parks and play spaces
- Review of the current Playground Replacement Program
- Developing recommendations for the approach to design, management and provision of play spaces across the City.

1.1. Scope

The term *play space* is interchangeable with 'park' and 'reserve', as it refers to a place where people of all ages go to enjoy nature, socialise, walk their dogs and many other active and passive pursuits.

The important distinction to make in this strategy is that when considering play spaces, we are referring to more than just the play equipment - we are considering the whole space and the purpose it serves in terms of structured and unstructured play and recreation. Therefore, the term *play space* is used to consider:

- Parks and reserves
- Nature reserves and foreshore.

In addition to play equipment, the strategy considers the following elements in relation to play:

- Outdoor exercise equipment
- Outdoor accessible multi-use ball courts - public tennis, multi half courts
- Supporting infrastructure - seating, picnic shelters, fencing, shade (natural and sails), BBQs, drinking fountains
- Wheeled facilities - skate parks and BMX tracks
- Footpaths, cycle ways, connections, linkages and path networks in and around parks and reserves.

For the purposes of this strategy, the following have not been included:

- School grounds
- Non-city owned land
- Land not deemed useable i.e. road or rail reserve Public Open Space without a usage function.

169 parks in the City are open to the public. Play spaces that are not open to the public have not been included in this strategy. These are:

- Childcare, family and outside school hours care (OSHC) centres
- Community facilities such as libraries and community centres.

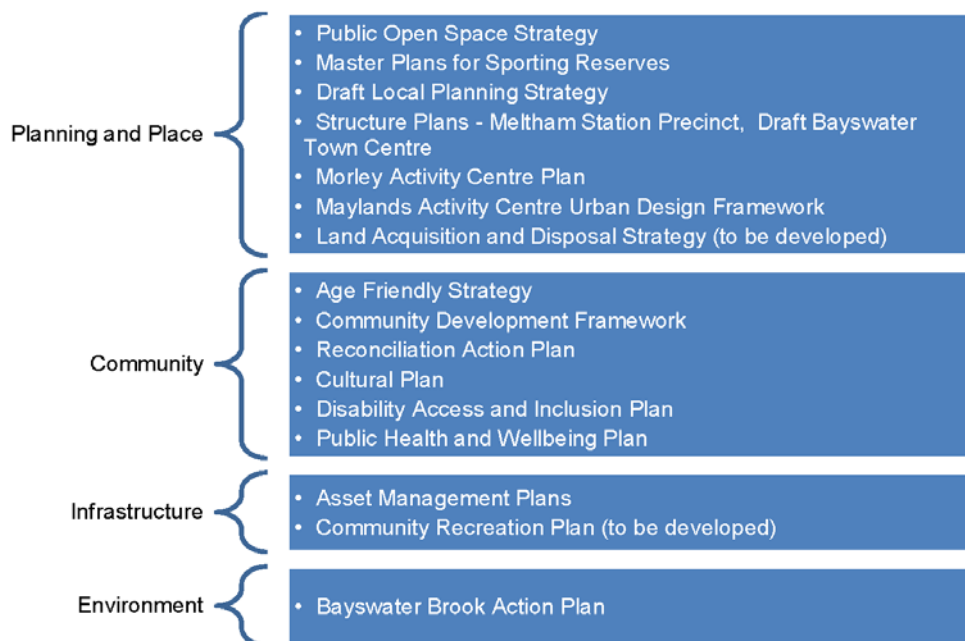
1.2. Context

The City's Strategic Community Plan (SCP) is the principal planning and strategic document that will guide the implementation of the City's services to the community until 2027. The Play Space Strategy is aligned with the following aspirations in the SCP:

- Our Community - 'An active and engaged community'
- Our Natural Environment - 'A green and sustainable environment'.

In the recent minor review of the SCP, a survey of the community found that parks and green spaces are held in high regard by residents and contribute to the liveability of the City.

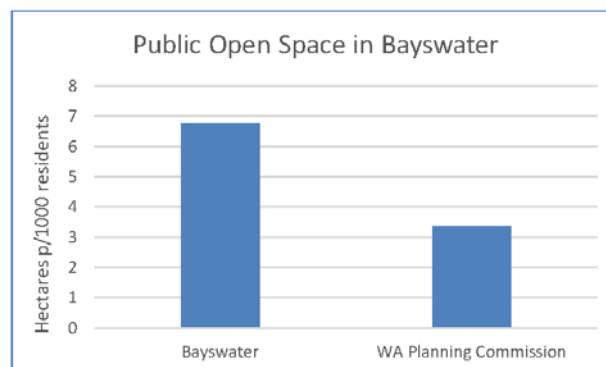
The strategic context of the PSS is very broad due to the universal nature of play and its role in the community as a form of recreation, social activity, community development and physical activity. Consequently, the PSS incorporates several strategic areas and is aligned to the following City of Bayswater plans and strategies:



The intention of the PSS is to align with existing strategies and plans, inform the development of new strategies and plans, and guide all complementary projects in parks, reserves and other public open spaces in order to deliver the best outcome to the community.

1.3. City of Bayswater Public Open Space Strategy

The Play Space Strategy adds to the information provided in the Public Open Space Strategy. This document outlines all the Public Open Space (POS) within the City of Bayswater - which is all the land in the City that is accessible by the public. Overall, 86% of residential properties within the City are within 300 metres of POS, and all residential properties are within 2 kilometres of a District or Regional Space. The City's POS provision per resident, measuring 6.76 hectares per 1,000 people, far exceeds the recommended amount identified by the Western Australian Planning Commission, which is 3.36 hectares per 1,000 people.



1.4. Resources

The following plans, reports and strategies were reviewed in the preparation of the PSS:

- 'Classification Framework for Public Open Space' (2012), WA Department of Sport and Recreation
- 'Public Parkland – Planning and Design Guide' (2014), WA Department of Sport and Recreation
- 'Play Space Guide – Creating valuable places to play and learn outdoors in Western Australian schools', UWA Centre for the Built Environment – collaboration with WA schools
- 'Access Guidelines for Parks and Outdoor Spaces Handbook v2' (2017), Access Institute
- 'Parks and open space: for the health and wellbeing of children and young people' (2009), Dr Lisa Wood – UWA Centre for the Built Environment and Health and Australian Research Alliance for Children and Youth
- *Healthy Active by Design*, Heart Foundation
- 'SPARC Report – City of Monash' (2015), Playce.

These documents provided insight into play types, trends and standards.

2. Play in general

The International Play Association considers play to be '*one of the best means to ensure the maximum potential development of every individual and the communities in which they live. Play stimulates creativity and is essential to the emotional, cognitive and physical development of the whole child, regardless of their level of ability*'.

There are numerous benefits to be gained from engaging in play – physically, mentally, emotionally and socially. There are different types of play and this strategy considers all types as being beneficial, using the following as a general guide:

- Active play, such as jumping, swinging, balancing and climbing
- Physical play such as kicking a ball, riding a bicycle or skateboard
- Creative or Imaginary play such as make-believe games, building cubbies
- Exploratory play such as tree climbing, bushwalks in natural areas, finding bugs, experiencing different textures through a mixture of objects and materials
- Social play such as sand pits, pair or group swings, group play equipment and hopscotch or ball games.

Parents, carers, families and individuals all benefit from parks and play spaces.

2.1 All ages and abilities

Types and components of play will differ according to age group and development. Due to the variety of play types and experiences, it is not possible to satisfy all of these in every play space, however the design of play spaces can target certain age groups or, in larger parks and reserves, a combination.

2.1.1 Children

Children learn through play, particularly in the early years. Development stages are outlined below:

Age	Development stage
Toddler (1 to 3 years)	Self-awareness Motor skills Speech, comprehension Interest in other children
Early childhood (3 to 6 years)	Fine and gross motor skills Strength improvement Independence, self-control increases Play, creativity and imagination develop
Middle childhood (6 to 12 years)	Logical thinking Memory and language skills Strength and athletic skills develop
Adolescence (12 years +)	Rapid physical change Peer groups help develop self-concept Abstract thinking and scientific reasoning develops

Source: *A Child's World* by Papalia, D.E. and Olds, S.W, USA: McGraw-Hill, 1993.

2.1.2 Adults

Use and enjoyment of public open space is a right afforded to everyone and engagement with young and older adults as part of this strategy divulged insights into how they use and would like to use parks and play spaces. Adults engage in types of play – interacting with their children, grandchildren and friends; physical activity; rest and relaxation – therefore it is important to consider the needs of adults in play space design.

2.1.3 All abilities

A play space for all abilities does not mean we only consider the equipment, nor is it designed only for children with disability. Some of the features of a play space without barriers include:

- Access – continuous path of travel from carparks; to and around seating, picnic tables, play nodes and public toilets
- Signage and wayfinding – clear symbols and language, tactile and Braille elements
- Gates and equipment at various heights and levels to accommodate people sitting or standing
- Accessible play equipment such as slides and swings
- Shade and shelters.

The Play Space Strategy guides the development of play spaces for use by the whole community and aims to provide a variety of spaces for a range of abilities. In 2015, Council resolved that all district and regional playground renewals would include at least one piece of play equipment that is accessible and inclusive for all children. This resolution is reflected in the *Parks and Play Space Classification Hierarchy* (outlined in Part 2 of this strategy), and in the City's Disability Access and Inclusion Plan.

In March 2019, as part of the strategy, Council resolved to include accessible pathways in all play space renovations and implement a long term annual program of shading all play equipment, either naturally, with shade sails or a combination of both.

2.2 Trends in play

Due to several factors such as lifestyle changes, early childhood research, resource availability, and adult perceptions of play spaces, play trends and play space design are continually changing at local, national and international levels. In addition, the emergence of green and other outdoor spaces has resulted in an increase in public artworks, outdoor events, pop-up initiatives, cultural heritage and place making.

It is important to consider these trends, recognising the local context to ensure appropriate planning of play spaces. The intent of this strategy is that it is a living document; flexible and responsive to change.

2.2.1 Risk

There is a wealth of information on risk associated with play. Increasingly, healthy levels of risk and challenge are considered a fundamental part of children's play and development. However, risk must be balanced with safety. The City will adhere to the Australian Standards for Playgrounds when planning, designing and maintaining play equipment.

2.2.2 Bigger play spaces

The trend towards large and diverse destination play spaces is evident on a local scale, evidenced by community expectations and more broadly, in the number of these types of play spaces being developed by local governments in association with developers and partners. Funding these destination play spaces has generally been a result of local government partnerships with LotteryWest, philanthropic funding bodies, and various organisations.

These play spaces demonstrate that play is no longer considered a short visit, or an activity that children generally engage in by themselves. Play spaces are considered to be an experience, sometimes for the whole family, hence emphasis is placed on increased availability of play choices for a variety of age groups, higher level of supporting park infrastructure and facilities for parents, carers and families; and access for all abilities and safety.

2.2.3 Nature play

The trend towards (or in some ways, *back to*) nature play can be observed in many play spaces in a number of settings – urban areas, schools and new residential developments. Accompanying this trend is significant evidence of the benefits to children in terms of learning, appreciation of the natural environment, risk-taking and social development. An abundance of nature play elements, such as loose parts play, and physical elements including rocks for climbing, balance logs and steppers made of recycled materials, provide imaginative and exploratory play for a broad age range. Similarly, interaction with the natural environment – puddles, building cubbies and observing wildlife – provides important experiences for children.

Nature play has been highlighted in all community feedback as something parents, carers and children would like to see in play experiences across the City.

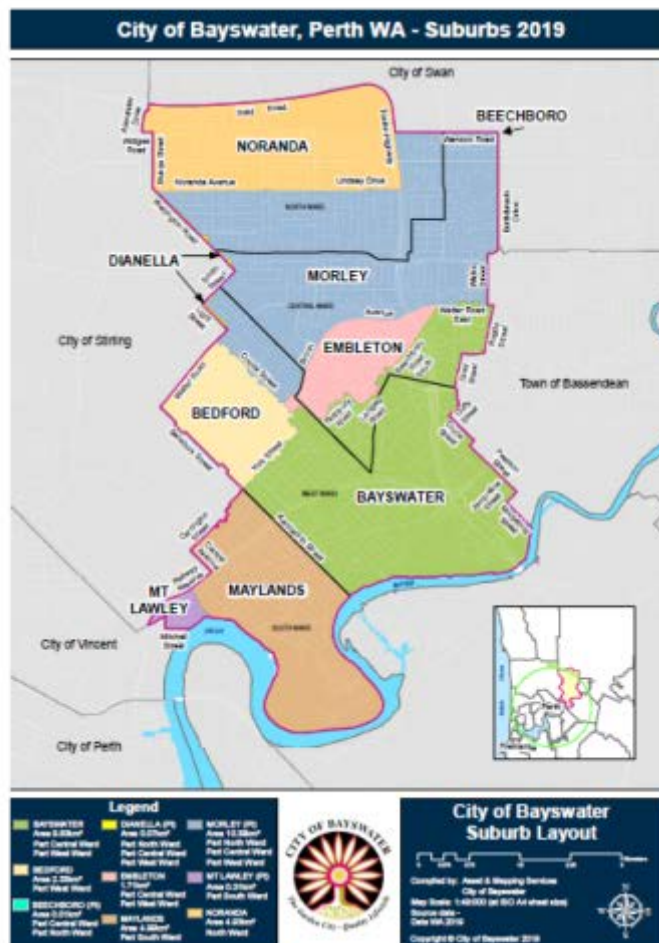
2.3 Health and wellbeing

The City recognises the importance of play spaces for everyone, from toddlers to older people. Play spaces hold an important position in the community as places to socialise, relax, exercise and play. Extensive research has been conducted worldwide into public open space planning and design. A number of studies have shown that in Australia, larger green public open spaces are frequently used and encourage greater levels of physical activity. Similarly, high quality and safe access to parks increases the likelihood the park will be well-used.

3. Snapshot of the City

Known as the 'Garden City' the City of Bayswater is located 8 kilometres north-east of Perth, covering an area of 34 square kilometres. The traditional custodians of the land are the Wadjuk Noongar people.

According to the 2016 census, 66,050 residents live in the City of Bayswater and enjoy an abundance of green space and natural areas, including approximately 10 kms of Swan River foreshore.



Map 1: Suburb map of City of Bayswater

3.1 Demographics

The City has experienced significant growth in the last decade, increasing from 55,803 people in 2006, to 66,050 in 2016. The number of residents born overseas in 2016 was 46% of the total population, with the most common places being England, India, New Zealand and Vietnam.

Categories	Australian Bureau of Statistics Census 2016
Estimated resident population	66,050
Median age	38 years
Aboriginal and Torres Strait Islander population	1.22%
Older couples without children	8%
Lone person households	27%
Children aged between 1 and 14 years	10,190
Overseas born	45.77%
Language at home other than English	28%

Growth is expected to occur over the next seven years to 2026, resulting in a population of 75,200.

According to the WA Tomorrow 2015 Population Predictions, it is anticipated that 35-44 year olds will experience the most significant growth (as a percentage of the population) by 2026, while the percentage of 20-34 year olds is anticipated to significantly decrease. It is also anticipated that the City will see an overall decline in the percentage of elderly men and women.

Maylands is projected to experience the highest rate of growth (25%), followed by Morley (14%). An increase in residential density in these suburbs highlights the importance of parks and reserves, and the role they play in neighbourhoods and suburbs.

3.2 Public Open Space (POS)

All spaces are classified according to function and catchment hierarchy, for the purposes of management and planning. Functions are explained below and illustrated on Map 2:

Sporting spaces provide a setting for formal or structured sporting activities. Two examples of Sporting spaces are:

1. Frank Drago Reserve, Bayswater
2. Pat O'Hara Reserve, Morley.

Recreation spaces provide a setting for informal play, physical activity, recreation and social interaction. The majority of POS in the City has a Recreation function. Two examples of Recreation Spaces are:

3. Newington Reserve, Morley
4. Bardon Park, Maylands.

Nature spaces provide a setting for people to enjoy nature and protect local biodiversity. Spaces may be adjacent to reserves and may not be fully accessible to people. Two examples of Nature Spaces are:

5. Lightning Swamp Bushland, Noranda
6. Riverside Gardens, Bayswater.

Map 2 also shows the spread of Public Open Space across the City by catchment hierarchy (typical size and potential distance a user might travel). Catchment hierarchies form the basis of the City's *Parks and Play Space Classification Hierarchy*. Further detail on the hierarchy can be found on page 13 of this report.

Some inequalities can be seen in the distribution of parks and reserves across suburbs. Bayswater, Noranda and Maylands have over the 10% Public Open Space recommended by the State Government's Liveable Neighbourhoods policy, whereas Morley, Bedford and Embleton have less.

In those areas lacking in POS, existing parks and reserves are more important. This presents challenges for planning and design of parks and play spaces, particularly as population density increases.



4. Play in Bayswater

The following sections give an overview of play in the City of Bayswater.

4.1 Audit of play spaces

Overall, the City has an abundance of parks and play spaces of different shapes and sizes.

In order to form a more comprehensive picture of the play spaces in the City, a site audit assessed 169 parks and reserves according to specific criteria. The purpose of the audit was to provide an overall picture of play space performance in each suburb, highlighting good examples and deficiencies in play space design, layout and function.

The audit showed focus areas for the City to address in the Play Space Strategy, namely:

- **Improve diversity in play opportunities** - due to the high incidence of modular, predominantly plastic play equipment, the range of play types across the City is generally low. The previous approach to play equipment and parks infrastructure asset renewal has resulted in similarities between parks and play spaces and consequently, a lack of varied play experiences for the community.
- **Improve access to and around play elements and spaces** - perimeter pathways, connections and around park furniture such as picnic tables and seating are required to accommodate all users.
- **Utilise a holistic planning approach** – the layout of parks and play spaces could be improved to further enhance natural features in the City's parks.
- **Focus on quality of provision** - there are opportunities to improve the level and quality of provision for some suburbs (Embleton and Morley in particular) by upgrading spaces and aligning them to their correct classification, taking into account the role that play has in each park or reserve and capitalising on points of difference.

The complete audit report can be found in Appendix 1.

4.2 Playgrounds

There are 117 playgrounds within the City of Bayswater, including those that are attached to community facilities, including childcare centres, and fee-for-access facilities such as Bayswater Waves. This strategy does not include these in its scope, as planning for these play spaces will be determined by management agreements or other circumstances, and may not necessarily conform to the same principles and classification hierarchy. Similarly, development funding for these sites will be determined separately to the annual budget for play space redevelopments and additional external grant funding may be sought.

Therefore, the number of playgrounds included in this strategy is 105.

4.3 Playground provision

An accepted ratio for playgrounds per head of population does not exist in Western Australia, however it is useful to note for the purposes of benchmarking against other local governments:

LGA	Number of children aged 1-14 years	Number of playgrounds (public)	Ratio
City of Bayswater population – 66,050	10,190	105	1 playground p/629 residents, or 1 playground p/97 children

City of Vincent population – 33,693	4,773	48	1 playground p/910 residents, or 1 playground p/99 children
City of Canning – 92,965	15,852	145	1 playground p/641 residents, or 1 playground p/109 children
City of Belmont population - 39,682	6,389	37	1 playground p/826 residents, or 1 playground p/172 children

In comparison with other local governments, the ratio of playgrounds to children is relatively high in the City of Bayswater.

4.4 Play equipment replacement

The City bases its annual replacement of play equipment on asset management principles. Play equipment replacement is informed by an independent audit commissioned by the City, at a minimum of once every three years. This ensures play equipment is aligned with Australian Standards for safety. It also provides a recommended schedule for replacement, based on the age and condition of the equipment, on a 15 year cycle.

The replacement cost of play equipment assets in the City is approximately \$5.8 million. The annual depreciation cost for the play equipment is approximately **\$345,000**. The City will aim to maintain this level of service through considered replacement of play assets, renovation of current play spaces, and improving the spread of play opportunities for the community.

4.5 Maintenance regime

The City conducts regular inspections of play spaces, according to a specified maintenance regime in accordance with the Australian Standards for Play Equipment. Sand cleansing, and repair and replacement of equipment is carried out on a regular basis to ensure ongoing community safety. Signs are used when maintenance and repairs are underway so the community is aware of how it will impact their use of the site.

4.6 Additional play infrastructure

The City maintains 15 outdoor courts (tennis, basketball etc.), replacing them when necessary in accordance with asset management principles and community demand. In addition, outdoor exercise equipment is installed at 11 reserves. An example of physical play infrastructure is Russell St Park in Morley, which includes a Ninja Warrior obstacle course suitable for pre-teens and young adults.

The City aims to diversify the current physical play infrastructure through renovation, renewal and addition of elements for all ages and abilities, such as parkour apparatus, multi-courts and hit-up walls. These changes will generally occur at larger neighbourhood, district and regional reserves, in line with the *Parks and Play Space Classification Hierarchy*, and guided by the community.

There are two skate parks in the City - Crimea Reserve in Morley and Wotton Reserve in Bayswater. The City funds a program of clinics and events each year, run by Skate WA, to encourage children of all ages to participate in wheeled sports. The City's Skate Park Advisory Committee will discuss skate facility improvements. The City also has a small BMX dirt jump circuit in bushland adjacent to the Lightning Park Recreation Centre.

4.7 Other projects

Parks and play spaces have a variety of uses and many are used for a number of functions, including place activation, community events and festivals. The aim of this strategy is to guide planning to make sure community spaces are as flexible as possible to accommodate the changing

needs of local communities. Over recent years, parks and reserves in Morley, Maylands, Bayswater and Noranda town centres have become important spaces used by the local community to help people connect, support local economies and host events. The changing nature of these play spaces will be taken into consideration in planning, design and renovation.

5. Community opinion

The development of the Play Space Strategy has been shaped by community feedback. Any strategy as all-encompassing and broad as this one requires a significant engagement program with community members of all ages from all walks of life. Throughout the development of the strategy, over 400 people participated online, in interviews, at workshops and drop-in sessions. The full report can be viewed in Appendix 2, and a summary of findings is provided below.

5.1 Local play spaces

Residents in the City of Bayswater highly value their play spaces for a number of reasons. It is imperative the City takes into account the whole community when renewing current play spaces. It is evident that local spaces that are conveniently located within close proximity to people's houses are highly valued and used for children's play, dog walking, community/social activities and exercise. There are unique differences between suburbs and communities which must be highlighted and valued in planning and provision. Ensuring residents have access to a range of different sizes and types of play spaces in their local area will be an important part of the strategy.

5.2 Natural environment is key

The natural environment and open space are important to the overall experience for children and their parents or carers. This matches industry trends concerning nature and water play. For primary school aged children, the most popular play spaces across all age groups are nature-based, with either specific nature play elements, or play in the natural environment.

5.3 Play types

A comprehensive program of activities with school age children gave valuable insights into preferred activities and types of play spaces. Play activities showed a clear trend towards adventure and challenge, namely climbing, building cubbies and exploring. There is a positive correlation between age and physical play, such as multi-courts, skate parks and riding a scooter/bicycle; along with hanging out with friends. Swings and flying foxes continue to be popular with 8-10 year olds. Parents and carers identified a lack of safe and enclosed play opportunities for toddlers, and a mix of play activities to cater for more than one age group in bigger play spaces has been a common request.

5.4 Safety

Results from all phases of engagement highlighted issues concerning child safety, specifically referring to fencing or enclosed play spaces for children - particularly in parks designated as off leash dog exercise areas. People walking dogs is also noted as a common motivation for using parks and reserves. The City has stipulated that dogs must be on a lead within 20 metres of a playground, for the safety of children, and in accordance with the *Dog Act 1976*, dog owners must have control of their dogs at all times.

5.5 Functionality

People of all ages and abilities enjoy parks and play spaces across the City. Suitable and accessible parks infrastructure including seating, picnic tables, shade and public toilets are important

for people's enjoyment of the site. Improved access to facilities and play spaces through path networks and connections is important to ensure the whole community can enjoy them.

Part 2:

6. Strategic approach

This section of the Play Space Strategy brings together the information that has been gathered, analysed and refined throughout the development process. This section comprises:

- Guiding principles
- A classification hierarchy for parks and play spaces
- Parks infrastructure and design elements
- Recommendations.

6.1 Guiding principles

The future planning and development of play spaces will be based on three guiding principles. These are:

6.1.1 Quality local provision

In order to improve the balance of play experiences in the City's parks, the broader context of the park must be considered, along with the role of play within that park. The aim is to provide a variety of play experiences in local areas in liaison with the local community users. In pocket parks, this may include meeting spaces for local residents with smaller amounts of modest play equipment, a community garden or similar community-driven initiatives. Similarly, local parks that have modular play equipment may be better suited to natural play elements, such as balancing logs, tree stumps or sand play.

A cornerstone of this strategy is that play is not just about children - play spaces are used by everyone. Families, older people, carers, teenagers and people with disability use play spaces in a number of ways. Play opportunities need to offer variety, interest and challenge for a broad range of ages, supported by parks infrastructure to facilitate a mix of uses, such as seating, picnic shelters, pathways and BBQs.

6.1.2 Effective and sustainable asset management

The City owns and manages many play assets. Regular review of play assets is required to achieve well-designed and high-functioning play spaces for the community, and to maintain appropriate service levels. When play equipment reaches the end of its useful life and is no longer suitable, or there is an oversupply of similar equipment in a local area, decisions will be made with the community for the design and use of the play space. These decisions will be guided by the *Parks and Play Space Classification Hierarchy*, outlined below.

6.1.3 Annual priorities

In conjunction with an independent condition audit commissioned every three to five years, an annual assessment process will help determine implementation priorities. Criteria will include:

- Community profile i.e. demographics
- Surrounding environment i.e. existing parks, reserves and play opportunities in the area

- Available budget.

Collaboration with other service areas to plan, design and implement play spaces and complementary infrastructure will play a vital role in the process.

This approach does not negate the City's ability to respond to community requests for park and play space developments outside of the annual program of play space redevelopments. The purpose of this strategic approach is to remain flexible and responsive to community need.

6.2 Classification hierarchy of Parks and Play Spaces

The Play Space Strategy is based on the theory that play can occur anywhere. In practice, it is necessary to apply parameters for a strategic and consistent approach to planning.

A hierarchy has been created, based on the State Government's *Classification Framework for Public Open Space (2012)*, which was developed by the previous Department of Sport and Recreation. This will be used to guide redevelopments and make sure park and play spaces reflect the intended level of use (the full hierarchy can be viewed in Attachment 1). The hierarchy can be used to achieve a level of consistency between the opportunities available to residents in all suburbs. A summary of each hierarchical level, associated examples of play and park infrastructure, and estimated range of costs can be found below:

The classification hierarchy of parks and play spaces replaces the previous hierarchy applied by the City in relation to the provision of play equipment only within the broader reserve or public open space.

6.2.1 Pocket park

'Extension of my backyard'

- The City has a total of 59 pocket parks, and 18 of these have play equipment
- The purpose of a pocket park is a short visit for rest, relaxation or play
- The size of a pocket park is generally less than 0.4 hectares; 300m walk from home
- Estimated cost range for a pocket play space renovation is \$30,000 to \$50,000.



Gordon Reserve, Bayswater

Pocket play components:

- Basic/nature play elements, depending on proximity to main roads.

Pocket park infrastructure:

- Shade (natural/shade sail)
- Accessible pathways
- Seating
- Basic landscaping.

6.2.2 Local park

'A place to meet the street'

- The City has a total of 37 local parks, and 30 of these have play equipment
- The purpose of a local park is a short visit for play, recreation, rest or relaxation
- The size of a local park is generally between 0.4 to 1 hectare; 400m walk from home
- Estimated cost range for a local play space renovation is \$50,000 to \$65,000.



6.2.3 Neighbourhood park

'Heart of the community'

- The City has a total of 47 neighbourhood parks, and 35 of these have play equipment
- The intended purpose of a neighbourhood park is a medium-length visit for community and social activity, such as picnics, dog walking, sport, recreation, and play
- The size of a neighbourhood park is generally between 1 and 5 hectares; 800m walk from home
- Estimated cost range for a neighbourhood play space renovation is \$65,000 to \$90,000.



6.2.4 District park

'Mix of sport and play'

- The City has a total of 17 district parks, and 14 of these have play equipment
- The purpose of a district park is, in most cases, organised sport with some recreation and/or nature function
- Visit length will vary depending on sporting function, and activities include dog walking, exercise and children's play
- The size of a district park ranges from 5 to 15 hectares; 1-2 km walk from home
- Estimated cost range for a district play space renovation will be between \$65,000 and \$120,000.



Wotton Reserve, Embleton

Play components:

- Dependent on the sporting function and space available.

Park infrastructure:

- Shade (natural/shade sail)
- Accessible pathways
- Seating
- Picnic shelter (where appropriate)
- Drink fountain with dog bowl (where appropriate)
- Barbecue (where appropriate)
- Lighting.

6.2.5 Regional park

'Super-sized reserve'

- The City has a total of nine regional parks, and six of these have play equipment
- The purpose of a regional play space is dependent on specific use. Regional parks and reserves can accommodate important sport or nature functions, such as Lighting Park and Riverside Gardens
- Accommodate important biodiversity principles and environmental management where possible
- The size of a regional park varies, servicing the whole of the City and neighbouring local government areas
- Estimated cost range for a regional play space renovation is \$120,000 +.



Cloughton Reserve, Bayswater

Play components:

- Diverse, servicing different ages and abilities in a large enough area to enable multiple activities and users
- Accessible play elements.

Park infrastructure:

- Shade (natural and/or shade sail)
- Accessible pathways
- Seating
- Picnic shelter
- Drink fountain (with dog bowl where appropriate)
- Barbecue
- Lighting.

6.3 Park infrastructure and design

The *Parks and Play Space Classification Hierarchy* outlined above identifies essential and optional park elements for each classification, based on the use and function of the space. It is important to provide a range of elements, based on the unique characteristics and location of the park and play space. As a general guide, the following park elements will be included at the appropriate level:

6.3.1 Soft fall

According to the Australian standard, all play equipment over 600mm in height requires a minimum of 300mm of some type of soft fall. The majority of play spaces will have sand or mulch. Higher level play spaces (neighbourhood and above) may contain rubber soft fall or a mix of surfaces, depending on the surrounding environment, type of play and feedback from the community.

6.3.2 Drink fountains

Drink fountains with dog bowls have been placed in parks and reserves that are designated as off leash dog exercise areas. Installing drink fountains will be considered at district, neighbourhood and regional level play spaces, taking into account water availability and lifecycle costs.

6.3.3 Fencing

Fencing around toddler play areas will be considered in situations where a barrier is required between the play space and hazards, such as the Swan River at Riverside Gardens play space, or at parks that are designated as off leash dog exercise areas. Enclosed play spaces for younger children can allow for separation from play equipment targeted at older age groups. Fencing of play areas at most levels of the hierarchy will be considered, taking into account the location, surrounding environment, site characteristics and park classification.

6.3.4 Seating

It is important to provide adequate seating in parks and play spaces to cater for parents and carers watching their children, older people, and others wanting to enjoy watching the world go by. Design

will vary, depending on the usage of the park, level of play space and community input. At a minimum, two seats should be available in all parks and play spaces, in adequate shade.

6.3.5 Picnic shelters

These are generally not considered essential infrastructure at pocket or local parks and play spaces, if adequate seating and shade is provided. At neighbourhood level and above, visits tend to be longer and therefore often warrant a picnic shelter. If a BBQ is installed at a park (generally neighbourhood level and above), a picnic shelter is ideally located within close proximity, connected by an accessible pathway.

6.3.6 Barbecues

Parks and reserves classified as neighbourhood or district may have a barbecue, depending on the location. In the case of district reserves with a sporting function, there may be constraints on the space available. Some neighbourhood level reserves may benefit from a barbecue if desired by the local community. Regional level reserves may include one or more barbecues, preferably with access to seating/picnic shelter and bin. Installation of barbecues will take into account electrical supply and lifecycle costs.

6.3.7 Pathways and connections

Pathways in parks and around play spaces have a dual purpose:

- Facilitate a path of travel between points, such as carpark to play space, or seating/picnic area to barbecue
- Integration into the play space in accordance with the site characteristics or theme, such as nature play areas or bicycle tracks.

In both instances, accessibility must be considered, therefore choices concerning the material used will depend on the specific requirements of the space. Materials may include concrete, asphalt, crushed limestone, rubber or pavers.

6.3.8 Public toilets

The City aims to provide public toilets at all district and regional reserves. Some parks are in close proximity to public toilet facilities in town centres or community facilities. In the case of pocket and local level parks intended for short visits, public toilets are generally not installed.

6.3.9 Car parking

Bigger parks and reserves often have an increased travel time to get to and encourage a longer stay, so these warrant the need for car parks - either on-street or verge parking, or a dedicated off street car park. District and Regional level parks and reserves will have a dedicated car park including Australian Council for Rehabilitation of Disabled (ACROD) bays, in accordance with the relevant standards.

6.3.10 Shade

In Perth's climate, shade in play spaces is vital. A number of parks and reserves have established, large-canopy trees, however not all of these trees adequately shade play equipment. The high incidence of plastic play equipment in play spaces can exacerbate heat, particularly at certain times of the day. It is a challenge to naturally shade play equipment, and some species of tree can drop significant amounts of leaf litter and there is potential for falling branches. Trees and the anticipated shade cover will be considered in the location of play equipment and seating.

The City is committed to ensuring all play equipment is adequately shaded, either naturally, with a shade sail or a combination of both.

6.3.11 Additional infrastructure

The City aims to provide spaces in parks and reserves that appeal to the broader community by planning and designing elements in a way that creates a sense of place and offers points of difference. If resources permit and the location is deemed appropriate, design of play spaces may include public artwork, themed and/or recycled play equipment, wayfinding and street furniture.

6.3.12 Access and all abilities

The City of Bayswater is committed to furthering the principles and objectives of the Disability Services Act and ensuring that the community is accessible for, and inclusive of, people with disability, their families and carers. The City's Disability Access and Inclusion Plan (DAIP) 2016-2020 is designed to meet the requirements of the Disability Services Act (2004). In addition to the Act, legislation such as the Building Code of Australia and Access to Premises Standard under the Disability Discrimination Act, also relate to planning for access and inclusion at facilities and in public open spaces.

The City will aim to ensure that all City facilities and infrastructure and pedestrian facilities in parks and reserves comply with minimum access standards as required by Australian Standards on Access and Mobility (ie. AS 1428 suite) and are physically accessible and safe. Upgrades on park infrastructure will provide access to people with disability through thoughtful planning and design to enable access by the whole community. An example of this is picnic shelters that incorporate an extended end with adequate space for a person seated in a wheelchair to move underneath. In addition, the concrete pad surrounding the picnic shelter should be large enough for adequate circular movement of a pram, wheelchair or gopher.

7. Recommendations

This section provides recommendations for the City's play spaces over a ten year period, broken into three areas:

- Annual Play Space Redevelopments (July 2019 – June 2022), focussing on the parks and reserves with play equipment due for replacement in the next three years
- Future Implementation Plan (2022-2033) for all remaining play spaces
- Annual Shade Program

7.1 Annual Play Space Redevelopments

This table contains the first three years' of redevelopments, based on the estimated year of replacement. This list is a guide and does not prevent the City from responding to community requests for park and play infrastructure developments outside of the annual program.

2019/20

The 2019/20 program is based on the average budget allocation for play equipment replacement over the past five years. Preliminary site assessments have been carried out using the criteria outlined above. The results from the community engagement to date will influence planning and design, however further input from local residents will be sought following Council approval of the 2019/20 budget.

<i>Park name</i>	<i>Suburb</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Comments</i>	<i>Recommended action</i>	<i>Estimated Municipal funding \$</i>
Claughton Reserve	Bayswater	Regional	Y	Potential to expand/diversify play and supporting infrastructure. Community requests for nature-based play.	Consider nature play elements to complement the natural environment; landscaping, pathway connections and additional park infrastructure to suit communities of interest i.e. water craft, fishing	\$100,000

Mills Avenue Park	Bayswater	Neighbourhood	Y	Potential to expand/diversify play and supporting infrastructure. Community requests for improved play equipment.	Enhance current connectivity through perimeter and in-park pathways. Play to be based on community input.	\$50,000
The Strand Reserve	Bayswater	Pocket	N	Significant established trees. Consider leaf litter and shade provision in play and infrastructure location.	Enhance space for community use, basic level play equipment, based on community input.	\$25,000
Noranda Sporting Complex (SW corner)	Noranda	District (Sporting)	N	Co-located with a sporting function; development of Noranda Nook to be considered	Liaise with user clubs and stakeholders in the first instance to determine location and type of play.	\$35,000
Pat O'Hara Reserve	Morley	District (Sporting)	Y	Community input highlighted in Master Plan process. Emphasis on surveillance and CPTED (Crime Prevention Through Environment Design) principles.	Enhance passive recreation space, taking into account potential Master Plan and future development of site.	\$90,000
Waltham Reserve	Morley	Neighbourhood (Sporting)	N	Partial removal of equipment in 2018/19 for safety reasons. Resident requests for equipment replacement, particularly swings.	Enhance play space based on community input, install pathways for greater connectivity to and around play space and playing fields.	\$50,000
Total amount required for 19/20 (POS and other external funds to be confirmed)						\$350,000

In the case of the sites proposed for redevelopment in 2020/21 and 2021/22, an estimated range has been applied to each play space, based on redevelopment cost estimates at the time of printing. Cost range is based on anticipated level of service as guided by the *Parks and Play Space Classification Hierarchy*, explained previously in this document.

2020/21 *

<i>Park name</i>	<i>Suburb</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Comments</i>	<i>Recommended action</i>	<i>Estimated \$ range</i>
Alf Brooks Park	Bayswater	Pocket	N	Play to be determined by residents. Current outdoor basketball court.	Increase tree canopy, improve connectivity and replace play elements at existing level. Retain shade sail.	\$30,000 to \$50,000
Belstead Reserve	Noranda	Local	Y	Play to be determined by residents.	Shade sail to be installed. Replace play elements at existing level. Improve connectivity.	\$50,000 to \$65,000
Gus Weimar Park	Morley	Local	N	Consider surrounding play provision at Moses Saunders, Newington, Allan Hill and Arbor Park.	Increase tree canopy and natural shade planting. Consider improving connectivity to surrounding parks and play spaces.	\$50,000 to \$65,000
Mahogany Reserve	Morley	Local	N	Explore options for multiple small play nodes within the park/trees.	Natural shade planting. Improve connectivity between play nodes, landscaping and throughout park.	\$50,000 to \$65,000

Stanbury Reserve	Morley	Pocket	N	Consider safety due to close proximity to Crimea St and Stanbury Cres.	Minor play elements, potential for sand/nature play element, community initiative eg garden. Install shade sail over play elements.	\$30,000 to \$50,000
Wattle Reserve	Morley	Neighbourhood	N	Current outdoor basketball court due for replacement. Consider future provision in light of court removals in Morley and Noranda.	Increase tree canopy and install shade sail over play equipment. Potential to combine play elements to promote accessibility, additional park infrastructure, seating. Potential BBQ and passive lighting.	\$65,000 to \$90,000

2021/22 *

<i>Park name</i>	<i>Suburb</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Comments</i>	<i>Recommended action</i>	<i>Estimated \$ range</i>
Gibbney Reserve (East)	Maylands	District (Sporting)	Y	Potential to link existing play nodes to primary school with connecting pathway or merge. Engage primary school and local residents. Potential for toddler play elements, if aligned with usage and local demographics.	Consider merging play spaces, complement with improved park infrastructure – seating, shelters, potential fencing around play space. Retain existing shade sail.	\$65,000 to \$120,000
Riverside	Bayswater	Regional	Y	Regional play space with potential	Source external grant	\$1 mill

Gardens/Eric Singleton Reserve				for all-abilities and increased variety for multi-age group activities (based on community feedback/aspiration)	funds. Recommend master planning/concept design for all-abilities play space. Commence community engagement and planning in 19/20.	
York Reserve	Bedford	Pocket	N	Climbing net replaced 2018. Two existing play nodes.	Enhance natural shade through planting. Connectivity to play elements. Potential for sand play.	\$30,000 to \$50,000

*Program is subject to budget approval and available resources.

7.2 Future Implementation Plan

The following plan is proposed to guide play space redevelopments in the ten year period from 2022-2032. The plan was developed with the play equipment audit, and taking into account community feedback during the engagement phases. *Estimated play equipment replacement date* has been determined by the independent audit. The year of replacement is subject to change, depending on condition and available resources. An independent condition audit is due to be completed in 2020/21 financial year.

Recommended actions are noted as follows:

- **Maintain** - Maintain the play space at the specified classification level. Play equipment to be replaced and play space redeveloped in line with the estimated replacement date, based on community feedback and further analysis
- **Enhance** - Enhance play space to bring it up to classification level and align with the *Parks and Play Space Classification Hierarchy*. Play equipment to be replaced and play space redeveloped in line with the estimated replacement date, based on community feedback and further analysis.

These recommended actions are preliminary, based on information to date. Further planning and analysis will occur prior to the estimated year of replacement, along with community engagement.

<i>Park suburb and name</i>	<i>POS area (ha)</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Estimated play equipment replacement</i>	<i>Comments from community feedback</i>	<i>Recommended action</i>
Bayswater						
Bert Wright Park	1.01	Neighbourhood	N	2031/32	Popular park for events; future projects will further activate community use. Outdoor multi-court	Maintain
Donald Way Reserve	0.42	Local	N	2026/27	Address pathway and connection.	Maintain
Flora Reserve	0.71	Local	N	2024/25	Well-used local park; potential for nature play, adult exercise equipment. Facilitate connection to McWhae Gardens	Maintain
Frank Drago Reserve	7.62	District (Sporting)	Y	NIL	Reserve does not currently contain a play space; future development of the site may include play equipment	Enhance
Gobba Lake	0.88	Local	N	2023/24	Liaise with Friends Of Gobba Lake Group	Maintain

Park						
Gordon Reserve	0.35	Pocket	N	2032/33	Play equipment upgraded in 17/18	Maintain
Halliday Park	2.02	Neighbourhood (Sporting)	Y	2032/33	Play equipment upgraded in 17/18	Maintain
Hamilton Reserve	0.12	Pocket	N	2028/29	Potential for adult exercise; consider tree issues and leaf litter. High dependence area	Maintain
Headley Place Reserve	0.27	Pocket	N	2023/24	Investigate proximity to road.	Maintain
Hinds Reserve	1.80	Neighbourhood	N	2030/31	Site under investigation for potential bike trail	Enhance
Houghton Park	8.10	District (Sporting)	N	2026/27	Site has potential for play variety e.g. nature play elements, adult exercise equipment. Outdoor multi-court.	Enhance
Joan Rycroft Reserve	3.64	Neighbourhood (Sporting)	Y	2022/23	Used for overflow sports training.	Maintain
Lower Hillcrest Reserve	3.46	Neighbourhood (Sporting)	Y	2022/23	Well-used by primary school age children; popular with local residents. Potential to develop into a nature play space to complement neighbouring Evans Place.	Enhance. Dependent on sporting function
Upper Hillcrest Reserve	5.52	District (Sporting)	Y	2032/33	Play equipment upgraded in 17/18. Investigate potential to combine with Lower Hillcrest.	Maintain
Norco Way Reserve	0.06	Pocket	N	2030/31	Explore potential to develop the space for community initiatives. Improve maintenance level	Maintain
Paterson Reserve	0.88	Local	N	2031/32	Explore potential to develop the space with adjacent school students and residents.	Maintain
Swan Lake Reserve	0.80	Local	N	2023/24	Friends Of group looking to enhance the space.	Maintain
Toowong Reserve	0.61	Local	N	2023/24	Outdoor multi-court	Maintain

<i>Park suburb and name</i>	<i>POS area (ha)</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Play equip. replacement due</i>	<i>Comments</i>	<i>Recommended action</i>
Bedford						
Alan Lehmann Reserve	0.66	Local	Y	2032/33	Play equipment upgraded in 17/18. Play space well-utilised by kindergarten.	Maintain
Beaufort Park	1.96	Neighbourhood	N	2031/32	Dependant on sporting function	Maintain
Birkett Street Reserve	0.78	Local	N	2022/23	Current shade sails. Potential to enhance use of the space for local residents. High dependency	Maintain.
Browns Lake Reserve	1.70	Neighbourhood	N	2025/26	Wayfinding to assist links to Rudloc Reserve and Nora Hughes.	Maintain
Grand Promenade Reserve	3.44	Neighbourhood (Sporting)	N	2027/28	Asset Plan due for 20/21. Potential to activate with series of play areas around the perimeter, BBQ, community events space. Outdoor multi-court	Maintain
Gummery Reserve	0.41	Local	N	2028/29	Play equipment to be improved	Maintain.
RA Cook Reserve	5.84	District	Y	2023/24	Adjacent water catchment	Maintain

<i>Park suburb and name</i>	<i>POS area (ha)</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Play equip. replacement due</i>	<i>Comments</i>	<i>Recommended action</i>
Embleton						
Broun Park	2.14	Neighbourhood	Y	2030/31	Potential for engaging, nature-based play space to complement natural assets. Good location to attract families and children (adjacent to Bayswater Waves). Investigate a staged process of upgrading play space including pathway network and access from carpark and local streets; picnic, seating, BBQ; play nodes for 2-3 age groups.	Enhance

Feredy Reserve	0.75	Local	Y	2022/23	Update play equipment, potentially for preschool age depending on community input	Maintain
McKenzie Reserve	1.25	Neighbourhood	N	2032/33	Play equipment upgraded in 17/18	Maintain
Ockley Square Reserve	0.23	Pocket	N	2026/27	Build community initiatives	Maintain
Wotton Reserve	6.82	District (Sporting)	N	2031/32	Skate park considered as separate project via the City's Skate Park Advisory Committee	Maintain

<i>Park suburb and name</i>	<i>POS area (ha)</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Play equip. replacement due</i>	<i>Comments</i>	<i>Recommended action</i>
Maylands						
Bardon Park (lower)	6.71	District	Y	2022/23	Potential for substantial development to play space at the time of upgrade for improved accessibility and play opportunities to complement natural environment.	Enhance
Bardon Park (upper)	6.71	District	Y	2029/30	As above	As above
Bath Street Reserve	0.74	Local	N	2027/28	Park currently provides a high level of service and interest due to site location and topography.	Maintain
Charles Reserve	0.92	Local	N	2027/28	Potential to improve play equipment and infrastructure to complement the surrounding environment.	Maintain
Clarkson Reserve	7.23	District	N	2031/32	Consider in broader planning of Maylands Peninsula.	Enhance
De Lacy Reserve	5.26	District (Sporting)	Y	2032/33	Play equipment upgraded in 2018/19	Maintain
Gibbney Reserve West	6.18	District (Sporting)	Y	2029/30	Consider combining two play spaces	Maintain

Kelvin Park	0.09	Pocket	N	2022/23	Consider appropriate community infrastructure	Maintain
Lake Bungana	9.39	District	N	2031/32	Consider in development of Brickworks Park	Maintain
Margaret Reserve	0.20	Pocket	N	2030/31	Community-managed.	Maintain
Maylands Foreshore	6.51	Regional/District	N	DEFERRED	Awaiting outcome of Maylands Waterland review (2019/20). Potential for BBQ, seating, picnic, play upgrade	Enhance
Plowmans Park	0.49	Local	N	2027/28	Well-designed and maintained local space for surrounding residents.	Maintain
Puntie Crescent Reserve	0.34	Pocket	N	2032/33	Play equipment upgraded in 2017/18	Maintain
Shearn Memorial Park	2.37	Neighbourhood (Sporting)	Y	2029/30	Focus on community safety. Potential for local history of the area to be integrated into the park. Current outdoor court.	Maintain
The RISE	1.55	Neighbourhood	N	2025/26	Surveillance and activation could be improved.	Maintain

<i>Park suburb and name</i>	<i>POS area (ha)</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Play equip. replacement due</i>	<i>Comments</i>	<i>Recommended action</i>
Morley						
Abinger Reserve	2.34	Neighbourhood	Y	2028/29	Consider play space for future placement of basketball court	Enhance
Allan Hill Park	1.15	Neighbourhood	N	2023/24	Basketball court removed and extra exercise equipment installed 19/20. Potential to incorporate natural elements into surrounding environment	Enhance
Arbor Park	10.2	District	Y	2025/26	Basketball court removed and extra exercise equipment installed 19/20. Potential to incorporate natural elements, wayfinding and multiple play nodes/types	Enhance

Battersea Reserve	1.64	Neighbourhood	N	2023/24	Potential to enhance play, incorporating natural elements. Liaise with school students in design.	Enhance
Boxhill Reserve	0.62	Local	N	2024/25	Outdoor court replaced in 2018/19.	Maintain
Charlwood Reserve	0.42	Local	N	2026/27	Requires significant tree planting and landscaping for shade.	Maintain
Chesney Reserve	0.36	Pocket	N	2033/34	Play equipment upgraded in 2018/19	Maintain
Crimea Park	6.30	District (Sporting)	Y	2029/30	Potential to expand skate park to include mini ramp. More shade to cover the play equipment. Current outdoor court. Consider mix of play elements depending on community input	Maintain
Crowhurst Reserve	0.46	Local	N	2027/28	Established trees providing decent shade; scope to develop from existing pathway	Maintain
Embersson Reserve	5.13	District (Sporting)	N	2026/27	Potential for improved play, parks infrastructure and shade to complement usage	Enhance
Farnham Reserve	0.80	Local	N	2031/32	Play equipment upgraded in 2016/17	Maintain
Fedders Reserve	0.14	Pocket	N	2031/32	Play equipment upgraded in 2016/17	Maintain
FJ Beals Park	2.25	Neighbourhood (Sporting)	Y	2028/29	Used for overflow sporting activities.	Maintain
Hampton Square Reserve	2.85	Neighbourhood	Y	2030/31	BBQ requested by local residents. Install barbecue in close proximity to existing seating, picnic shelter and play equipment. Current outdoor court; upgraded in 2018/19.	Maintain
Jakobsons Reserve (North)	0.33	Pocket	N	2024/25	Develop relationship and access to adjacent reserve. Established trees; play equipment to requires shade	Maintain
Kanimbla Reserve	0.58	Local	N	2025/26	Potential for play equipment to cater for young children, depending on community input	Maintain
Kennedy	0.11	Pocket	N	2023/24	Well-landscaped, lacking shade	Maintain

Reserve						
Moses Saunders Park	0.84	Local	N	2026/27	Potential to connect play spaces in a 'tour' through wayfinding and connecting pathways - Arbor, Moses Saunders, Gus Weimar, Allan Hill, Newington	Maintain
Newington Reserve	2.36	Neighbourhood	N	203/32	Path for riding bikes; bench seat on opposite side of playground. Fences around playground for safety	Enhance
Peters Place Reserve	1.68	Neighbourhood	N	2026/27	Play equipment could be upgraded	Enhance
Rhodes Reserve	0.71	Local	N	2023/24	Under-utilised space, lacking shade	Maintain
Rudloc Reserve	1.65	Neighbourhood	Y	2028/29	Play for broader age range of children requested – toddler and older children due to close proximity to John Forrest Secondary College. Enhance with seating, barbecue, play nodes and connectivity.	Enhance
Russell Street Reserve	0.80	District	N	2032/33	Play equipment for younger children to be installed in centre section; in-keeping with the site	Enhance
Shadwell Reserve	2.06	Neighbourhood	Y	2033/34	Play equipment upgraded in 18/19. Increase natural shade, consider bike paths and connectivity.	Enhance
Silverwood Reserve	0.26	Pocket	N	2031/32	Liaise with childcare centre.	Maintain
Tom Cameron Park	2.14	Neighbourhood	N	2026/27	Needs upgrading for use by children in the area; lighting to be improved.	Enhance
Trewin Park	0.56	Local	N	2030/31	Play equipment to be shaded	Maintain
Weld Square Reserve	2.76	Neighbourhood	Y	2031/32	Play equipment to be more challenging - cater for older kids. Improve community safety.	Enhance

<i>Park suburb and name</i>	<i>POS area (ha)</i>	<i>Classification</i>	<i>Dog off leash exercise area?</i>	<i>Play equip. replacement due</i>	<i>Comments</i>	<i>Recommended action</i>
Noranda						
Bohemia Park	1.39	Neighbourhood	Y	2033/34	Play equipment upgraded in 18/19	Maintain
Bramwell Reserve	0.55	Local	N	2033/34	Play equipment upgraded in 18/19	Maintain
Corderoy Reserve	0.65	Local	Y	2028/29	Large under-utilised area; more planting and shade required	Maintain
Deschamp Reserve	2.36	Neighbourhood	Y	2026/27	Liaise with neighbouring primary school students	Maintain
Fitzpatrick Reserve	0.97	Local	Y	2032/33	Play equipment upgraded in 17/18	Maintain
Holden Reserve	0.99	Local	Y	2031/32	Large under-utilised area; could make use of existing trees for shaded seating and pathways	Maintain
Ivory Park	1.60	Neighbourhood	Y	2023/24	Vegetation maintenance required to improve community safety and surveillance. Current outdoor court.	Enhance
Kirkpatrick Reserve	1.51	Neighbourhood	Y	2025/26	BBQ and lighting; good local meeting place. Fenced playground, shade, seating, coffee	Enhance
Lightning Park Recreation Centre	16.39	Regional (Sporting)	N	2022/23	Play space will consider main sporting use and available space	Maintain
Logan Reserve	0.31	Pocket	N	2031/32	Potential for community garden allotments	Maintain
Luderman Park	2.03	Neighbourhood	Y	2033/34	Play equipment upgraded in 18/19	Maintain
McPherson Reserve	1.97	Neighbourhood	N	2032/33	Play equipment upgraded in 17/18	Maintain
Millerick Reserve	1.30	Neighbourhood	Y	2027/28	Space could be enhanced to reflect neighbourhood level.	Enhance
Nederpelt	0.84	Local	N	2027/28	Current outdoor court. Consider court	Maintain

Reserve					provision in the area before replacing	
Noranda Avenue Reserve	0.34	Pocket	N	2032/33	Play equipment upgraded in 17/18. Consider fence for safety?	Maintain
Noranda Sporting Complex (SE corner)	Noranda	Regional/District (Sporting)	N	2030/31	Liaise with user clubs and stakeholders in the first instance to determine location and type of play.	Maintain
Robert Thompson Park	3.45	Neighbourhood	Y	2024/25	More variety requested in play equipment – innovation, nature play. Expand to include more shaded seating; adult exercise; water play; fenced; shade; coffee	Enhance
Sherbrooke Reserve	0.45	Local	N	2027/28	Consider safety aspect of play in close proximity to Benara Rd	Maintain
Strutt Reserve	3.08	Neighbourhood	N	2031/32	Some issues with dogs off leash. Request for BBQ and exercise equipment stations. Current outdoor court.	Maintain

7.3 Annual shade program

At the Ordinary Council Meeting held on 26 March 2019, Council resolved to include an action in the Play Space Strategy to:

'Develop a long-term program to progressively shade all of the City's playgrounds, including through the use of shade sails and/or the planting of large canopy trees close to play equipment (where it is possible).'

The following program has been developed based on detailed analysis of current natural shade cover of play equipment, using the City's LIDAR data capture (Light Detection and Ranging) in the City Spatial Portal. The system, developed in February 2018, allows observation of shadows cast from nearby trees over a 24 hour period. Supporting information has been sourced from 'The Shade Handbook: A practical guide for shade development in Western Australia' (2012).

For the purposes of the Annual Shade Program, data was collected on natural shade cover of play equipment between 9am and 6pm in the month of January, including:

- Duration of natural shade (hours)
- Times of natural shade e.g. 4pm to 6pm
- Partial or full shade over current play equipment.

The data does not show the extent of coverage by shade sails, as it is only based on tree shadow. Therefore it was not possible to glean the benefit provided by shade sails alone.

Results

Out of 105 playgrounds:

- 15 playgrounds currently have shade sails. Depending on the location of the playground, height and position of shade sails and nearby trees, the sails may or may not provide full shade. Approximately half of the playgrounds with shade sails also benefit from at least two hours of natural shade from nearby trees, generally in the afternoon between 1pm and 6pm.
- Out of the remaining 90 playgrounds without shade sails, 11 are adequately shaded for five hours or more each day, generally between 11am and 6pm. These playgrounds do not therefore require further shade, in line with the criteria outlined below
- The total number of playgrounds recommended for tree planting to increase natural shade is 67
- The total number of playgrounds recommended for shade sails is 38 (this includes playgrounds with existing shade sails).

7.3.1 Natural shade

Seedlings will be planted, rather than mature trees, as younger trees develop a stronger root system more quickly. The growth period could be between five and ten years to reach maturity and provide optimal shade over play equipment. Species selection is based on a range of factors including soil type, surrounding environment, consideration for biodiversity and improving fauna habitat. Specialist advice from the City's arborist recommended seedlings be planted rather than mature age trees to ensure a faster growth rate, providing optimal shade within a shorter period of time. In addition to planting trees specifically to shade play equipment, trees will be planted at identified sites to support existing shade sail coverage of play equipment.

7.3.2 Shade sail

Sizes of shade sails vary, depending on the size of the play space, height of equipment and the required shade coverage. The amount of shade provided also depends on the angle and height of

the sail. Depending on the location of the play space, there will be times of day when the equipment cannot be shaded to full capacity. Existing shade sails are positioned in such a way as to protect users during peak UV periods - generally 12pm to 1pm, when the sun is directly overhead.

7.3.3 Costs

Costs illustrated below are based on the average price from several suppliers for the supply and installation of various shade sail sizes. Ongoing costs are based on historical information and an average rate from several suppliers. The City has an annual agreement with a supplier to remove and repair shade sails in winter months. This is important to prevent damage in unpredictable weather conditions.

<i>Park Classification</i>	<i>Shade requirement</i>	<i>Install Cost</i>	<i>Ongoing Annual Maintenance Cost</i>
Pocket	1 medium shade sail OR	\$15,000	\$270
	2 trees	\$840	<i>NIL – initial cost covers supply, planting, mulching, watering for the first 3 years</i>
Local	1 large shade sail OR	\$20,000	\$340
	2 – 3 trees	\$840 - \$1,260	<i>NIL – initial cost covers supply, planting, mulching, watering for the first 3 years</i>
Neighbourhood	2 small shade sails OR	\$25,000	\$470
	3 trees	\$1,260	<i>NIL – initial cost covers supply, planting, mulching, watering for the first 3 years</i>
District	3 medium shade sails OR	\$30,000	\$680
	2 – 3 trees	\$840 - \$1,260	<i>NIL – initial cost covers supply, planting, mulching, watering for the first 3 years</i>
Regional	5 medium shade sails OR	\$60,000	\$1200
	4+ trees	Min \$1,680+	<i>NIL – initial cost covers supply, planting, mulching, watering for the first 3 years</i>

7.3.4 Decision criteria

Based on the data analysis, shade type will be determined by the criteria shown below:

<i>Criteria</i>	<i>Outcome</i>	<i>Rationale</i>
Existing shade sail	Shade sail	Existing shade sails will not be removed; they will be replaced when they are due. Additional trees can also be planted to further increase shade.
Current shade is limited - 0 to 2 hours per day	Shade sail	Generally indicates a lack of surrounding trees therefore shade sail is required
Play space / equipment prevents natural planting	Shade sail	Natural planting may be restricted by certain factors including: <ul style="list-style-type: none"> • Placement near a sporting reserve • Housing in close proximity / obstruction of residents' view Adjacent roads / foreshore • Underground services • Overhead power lines.
Current shade will be complemented by additional planting - 3+ hours full shade per day	Natural	Planting will complement current shade over time
Play equipment / play space design prevents shade sail	Natural	Height e.g. climbing net, or flying fox; location of play space is undulating, hills
Current shade is adequate – more than 5 hours full shade per day	NIL required	Shade over play equipment is sufficient

7.3.5 Implementation

It is recommended that, where shade sails have been identified for installation over existing play equipment, that this takes place in conjunction with the planned play space redevelopments. This will allow for maximum flexibility in shade design and coverage when planning the overall site and play equipment placement. It is anticipated the cost of shade sails will be funded separately each year, in accordance with annual budget approvals.

Tree planting will commence immediately at reserves identified for natural shade. Costs are covered by existing identified budgets such as the street tree planting program. Sites to be planted will be prioritised by size and level of usage over a two to five year period subject to stock and planting capacity.

Each year (commencing 2020/21), a program of sites to be redeveloped will be submitted for Council consideration in the draft budget based on the following information:

- Site, location and classification level
- Shade type – sail or natural

- Installation and life cycle costs for each
- Anticipated schedule of implementation

The first year of the Play Space Redevelopments would therefore comprise the following sites. It should be noted that the installation cost of trees will be covered in the City's existing parks and street tree planting programs:

2019/20

<i>Park name</i>	<i>Suburb</i>	<i>Classification</i>	<i>Shade type</i>	<i>Installation cost</i>	<i>Ongoing annual cost (if applicable)</i>
Cloughton Reserve	Bayswater	Regional	Natural	\$1,680	Nil
Mills Avenue Park	Bayswater	Neighbourhood	Natural	\$1,260	Nil
The Strand Reserve	Bayswater	Pocket	Not required – play equipment in full shade all day	Nil	Nil
Noranda Sporting Complex (SW corner)	Noranda	District	Not required – play equipment in full shade all day	Nil	Nil
Pat O'Hara Reserve	Morley	District	Shade sail (consideration for developer contribution cash-in-lieu Public Open Space funding)	\$30,000	\$680
Waltham Reserve	Morley	Neighbourhood	Shade sail (consideration for developer contribution cash-in-lieu Public Open Space funding)	\$25,000	\$470
Total costs				\$57,940	\$1,150

8. Conclusion

The Play Space Strategy was developed in response to an identified need for strategic direction in the planning and design of play spaces in the City of Bayswater. It is the result of comprehensive community engagement, data collection and analysis, and was influenced by current research and trends. It was then refined into three guiding principles:

- Quality local provision
- Effective and sustainable asset management
- Annual priorities.

The *Parks and Play Space Classification Hierarchy* is a valuable tool to guide the planning of the function and hierarchy of parks and reserves, taking into consideration the role that play has in a park - along with other purposes including exercise, recreational activities and family gatherings. Analysis of these factors, the surrounding environment, existing provision in the local area, and demographic profile, will assist the City to make strategic decisions for play that benefit the whole community.

9. Evaluation and review

This strategy is a living document, adaptable to change and subject to regular review. The first major review is anticipated to take place after three years in 2022.

It is important to measure the success of the Play Space Strategy to ensure that the City adheres to the guiding principles and provides play spaces that are aligned with community expectations.

Measures of success include:

- The community is engaged in the planning and design of play spaces
- Appropriate resources are allocated to play space redevelopments each year
- Shade over play equipment is included in every play space redevelopment
- Accessible pathways are included in every play space redevelopment
- The *Parks and Play Space Classification Hierarchy* is used as a guide for all play space redevelopments and other infrastructure works in parks and reserves

Reporting will include:

- Regular updates to the City's Executive team
- Annual reports to Council on play space redevelopments, lessons learned and challenges to be addressed
- Regular updates to the community through the City's online engagement platform, 'Engage Bayswater', social media and other communication mechanisms.

10. Attachment 1

Type	Pocket Park	Local Park	Neighbourhood Park	District Park	Regional Park
Catchment Area	Approx. 300m walk from home	400m walk from home	800m walk from home	1 - 2 km from home	Whole of City, service neighbouring LGAs
Site characteristics	<ul style="list-style-type: none"> Less than 0.4 ha in size Most often used as Recreation and/or Nature space Intended for short visits for rest and relaxation Assist in preservation of local biodiversity and natural environment 	<ul style="list-style-type: none"> Generally 0.4 ha to 1 ha in size Recreation and/or Nature function Responsive to natural features Good passive surveillance Assist in preservation of local biodiversity and natural environment 	<ul style="list-style-type: none"> Generally 1 to 5ha in size Recreation and social focus for community Provide a variety of features including bushland, play infrastructure, sporting infrastructure (if appropriate) Sport, Recreation or Nature function/s Responsive to natural features Good passive surveillance Assist in preservation of local biodiversity and natural environment 	<ul style="list-style-type: none"> Generally 5 to 15ha in size Primarily used for organised sport with some Recreation and/or Nature function Service several neighbourhood areas Located centrally to maximise accessibility Located on district distributor roads with public transport Good passive surveillance Safe pedestrian and cycling connections 	<ul style="list-style-type: none"> Services one or more geographical region/s Well connected by major road and public transport networks Accommodate important Sport and Recreation functions as well as significant conservation and/or environmental features Accommodate biodiversity principles and environmental management goals where possible
Play characteristics	<ul style="list-style-type: none"> Basic play infrastructure or nature play elements may be provided, depending on proximity to main roads, surveillance and size May reflect local character, community-led initiatives aligned with City policies for Public Open Space Intended for short visits 	<ul style="list-style-type: none"> Basic level play infrastructure, nature play elements or exercise equipment May reflect local character, community-led initiatives aligned with City policies for Public Open Space Intended for short visits 	<ul style="list-style-type: none"> Extensive play opportunities and choices for different age groups including a mix of types Intended for medium length visits by surrounding residents 	<ul style="list-style-type: none"> Play opportunities dependant on sporting infrastructure and space availability Visit length generally dependant on sporting use/outside sporting hours exercise, dog walking and children's play 	<ul style="list-style-type: none"> Diversity of play opportunities for different ages and abilities Area should be large enough to enable multiple activities, play types and users simultaneously
Accessibility	<ul style="list-style-type: none"> Safe pedestrian and cycling connections Accessible pathways 	<ul style="list-style-type: none"> Safe pedestrian and cycling connections Accessible pathways Sand or mulch soft fall 	<ul style="list-style-type: none"> Safe pedestrian and cycling connections Accessible pathways Accessible seating and picnic furniture Accessible play elements Sand and/or mulch soft fall Lighting - general security and pathways 	<ul style="list-style-type: none"> Safe pedestrian and cycling connections Accessible pathways Accessible seating and picnic furniture Accessible play elements Sand and/or mulch soft fall Lighting - general security, pathways and play areas 	<ul style="list-style-type: none"> Safe pedestrian and cycling connections Accessible pathways Accessible seating and picnic furniture Mix of accessible play elements Mix of surfaces, including sand, mulch and rubber soft fall Lighting - general security, pathways and play areas
Shade/shelter	Natural/shade sail	Natural/shade sail	Natural/shade sail	Natural and/or shade sail	Natural and shade sails
Supporting infrastructure	<ul style="list-style-type: none"> Seating Bin 	<ul style="list-style-type: none"> Seating Bin Picnic shelter (negotiable) 	<ul style="list-style-type: none"> Seating node/s Picnic shelter Bins Drink fountain (with dog bowl) BBQ (negotiable) 	<ul style="list-style-type: none"> Seating node/s Picnic shelter (where appropriate) Bins Drink fountain (with dog bowl) BBQ (negotiable) 	<ul style="list-style-type: none"> Multiple seating and picnic shelter nodes Bins Drink fountains (with dog bowl) BBQs
Public Toilets	Not required	Not required	Negotiable, depending on surrounding provision	Required	Required (fully accessible)
Parking	Not required	Street or Verge (as appropriate)	Street or Verge	Car park required (minimum 5 bays)	Car park required with ACROD bays
Fencing	Negotiable (depending on hazards)	Negotiable (depending on hazards)	Negotiable (depending on hazards, separation of areas)	Negotiable (depending on hazards, separation of areas)	May apply to some play areas for separation, hazard-dependant

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Appendix 1

Executive Summary

A strategy is currently being developed to assess the current provision and plan for future provision of play spaces across the City. This strategy will analyse current usage of play spaces, community need and level of provision to inform a sound approach to future planning and set priorities for implementation over the next 10 years.

For the purposes of the strategy, the definition of a play space is:

A place that allows all people, regardless of age or ability, to experience physical and creative play, social interaction and physical activity. Play spaces can be standalone or co-located with community and sporting facilities; in natural environments, public open space or urban areas. Play spaces accommodate a variety of uses, amenities and elements.

In short, a play space refers to public open space that is owned or managed by the City, zoned for recreational use and useable. This includes play spaces, gardens, natural areas, public courts and spaces in which unstructured recreational activity takes place.

For the purposes of this strategy, the following spaces and places are NOT deemed as play spaces:

- Sports fields (unless co-located with a play space i.e. playground on the periphery of a football oval)
- Sport specific infrastructure including goals, full size indoor and outdoor courts, cricket wickets
- Sport and community buildings i.e. Libraries, senior citizens centres
- School grounds
- Leisure and recreation centres, such as Bayswater Waves, the RISE and Maylands Waterland
- Public art (without components designed for interaction/play)
- Footpaths, trails, roads and car park spaces (these will be considered in terms of connections and accessibility only)

This audit involved assessing 169 play spaces across the suburbs of Bayswater, Bedford, Embleton, Maylands, Morley and Noranda according to specific criteria. The purpose was to:

- give an overall picture of play space performance in each suburb
- highlight good examples and deficiencies in play space design, layout and function
- identify issues to be considered in future planning
- identify commonalities and duplications across play spaces
- inform priority works for upgrade and improvement in the Play Space Strategy Implementation Plan

It is noted that the terms *park* and *play space* are interchangeable. In assessing the play space, the surrounding park was also assessed.

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The current classification hierarchy for playgrounds was used for the purposes of this audit, as shown in Appendix 2. This was used partly to inform a review of the hierarchy, as part of the Play Space Strategy.

The report presents the audit results and key findings for each suburb, as well as overall key findings grouped into the following themes:

- Play Opportunities
- Distribution
- Quality of Provision
- Access for All Abilities
- Facilities i.e. parks infrastructure and amenities.

These are detailed at the end of this report.

There are distinct differences when comparing play experiences across suburbs; this can also be attributed to an uneven spread of Public Open Space in some areas.

The report provides the evidence required to identify priorities for future works and review the current approach to play space planning, which, in its current form, is restrictive and focussed on asset condition rather than the broader play space environment, the role it plays in the network of Public Open Space and overall range of play experiences across the suburb and the City.

The Play Space Strategy recommendations will be a culmination of key findings from this audit, desktop review and analysis and community engagement.

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Introduction

This audit involved assessing 169 play spaces throughout Bayswater according to specific criteria. The purpose was to:

- give an overall picture of play space performance in each suburb
- highlight good examples and deficiencies in play space design, layout and function
- identify issues to be considered in future planning
- identify commonalities and duplications across play spaces
- inform priority works for upgrade and improvement in the Play Space Strategy Implementation Plan

The audit results are subjective and therefore should be used as a guide rather than a technical analysis.

For the purposes of this audit, the play spaces have been classified according to the current classification hierarchy of playgrounds; the levels are Local, District and Regional (Appendix 2). This hierarchy is currently under review as part of the Play Space Strategy to better reflect a) the whole play space, not just the playground and b) the enhanced level of supporting infrastructure required for each level, from basic amenities to accessibility. One major revision of the classification hierarchy is the addition of a Pocket level to describe those play spaces that are less than 0.5 ha in size (25% of all play spaces in the City).

Assessment Criteria

Play function

- Variety in age and ability of play equipment in 4 general age groups: 0-4 years, 5-12 years, teen play (currently refers to multi-courts, skate parks and bike paths) and adult (currently refers to adult exercise equipment, bike paths);
- Types of play elements within the play space, i.e. Traditional, Natural, Creative/ imagination and Physical Play elements i.e. skate park, bike paths, multi-courts.

Accessibility and Inclusion

Criteria were based on the *Access Guidelines for Parks and Outdoor Spaces Handbook*, published by the Access Institute. These guidelines may not fully comply with all the requirements of the Australian Standards for Access and Mobility or the *Disability Discrimination Act*.

- Pathways and connections to and around the play space - range from no path to full pathway connections to and around play area for a continuous path of travel;
- Inclusive and accessible play elements - includes rubber softfall surface around play area, accessible basket swings and play components catering for various ages and developmental needs;
- Accessibility of parks infrastructure, including seating, picnic tables and ACROD parking bays* - based on type and surrounds i.e. grass, mulch or level surface

Surrounding Environment

- Supporting infrastructure and amenities including water fountains, shade over play equipment (either natural or by way of a shade sail) and bins**;
- Natural appeal of the space, relationship to environment, features and landscaping;
- Park and play area safety in terms of lighting, signage, proximity to roads and hazards, surveillance - this considers the whole space i.e. the park, as well as the area where the play space is located;

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- Car parking;
- Public toilets.

**ACROD parking bays will generally only be provided if there is a dedicated carpark at the park/play space. Therefore, it is not assumed that all play spaces should contain ACROD bays.*

***In the case of a play space containing a bin ONLY and no other amenities, this was scored as a 1, as the minimum provision of supporting amenities is at least a bin and one other amenity.*

Assessment and rating

The audit scores are intended to demonstrate overall performance, rather than solely determine the individual value of that play space. It is assumed that smaller Pocket and Local play spaces will have lower scores since the function and expectation around the level of service is lower. Conversely, District level play spaces will generally reflect higher scores due to the function and level of service expected by the community and the dependence level in accordance with location and catchment.

The purpose of the ratings is to compare provision and diversity of play experiences within and between suburbs to identify key themes, areas of improvement and issues to be rectified in future planning, such as the quality of play provision and inconsistent level of supporting parks infrastructure.

The audit also demonstrates differences in the distribution and provision of play space levels. One example of this is Pocket play spaces. The audit shows that Pocket play space ratings are higher in Maylands than in Morley and there is a significant range of scores across the group of Pocket play spaces in Bayswater, showing different strengths in criteria such as play area safety and natural appeal of the space. This allows proper examination of the function and purpose of Pocket play spaces in the context of overall provision of play spaces in each suburb to directly inform priorities in the Play Space Strategy Implementation Plan.

It should be noted that the listing in the following audit differs from the hierarchy classification listed in the Annual Play Space Redevelopment Program and Implementation Plan. This is due to the previous playground classification being applied to the following audit and the new revised Parks and Play Space Hierarchy Classification being applied to the Play Space Redevelopment Program and Implementation Plan.

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Bayswater

Bayswater has a total of 43 play spaces. These are classified as follows:

Pocket	Local	District	Regional
Armada Reserve Charles Newman Gardens Coode Street Reserve Drake Street Reserve Drop in Centre Evans Place Reserve Dunkley Reserve Grey Street Reserve Hobart Reserve Ingles Reserve John D'Orazio Park Rose Avenue Reserve	Alf Brooks Park (P) Claughton Reserve (P,D) Donald Way Reserve (P) Essex Street Reserve (D) Flora Reserve (P) Frank Drago Reserve (D) Gobba Lake Park Gordon Reserve (P) Grace Hardie Memorial Rose Gardens Halliday Park (P,D) Hamilton Reserve (P) Headley Place Reserve (P) Hinds Reserve (P) Houghton Park (P) Joan Rycroft Reserve (P,D) Lower Hillcrest Reserve (P,D) McWhae Gardens Mills Avenue Park (P,D) Norco Way Reserve (P) Paterson Reserve (P) Swan Lake Reserve (P) The Strand Reserve (P) Toowong Reserve (P) Upper Hillcrest Reserve (P) Whatley Hall Reserve Wymond Park	Baigup Wetlands Bert Wright Park (P,D)	Riverside Gardens Nature (D) Riverside Gardens/Eric Singleton (P)

- 9 of these play spaces include dog exercise areas (D).
- 22 of these play spaces contain play equipment (P).

Assessment ratings

Rating 6-19

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46% - most of the lowest scoring play spaces are Pocket level, four of which have play equipment. Supporting infrastructure is minimal, i.e. bin/s, water fountains or shade over play equipment and accessibility is generally low. Examples are Grey St Reserve and Evans Place Reserve (linear nature space).

Rating 20-26

37% - these play spaces are generally Local level, most of which have play equipment of the standard variety and average accessibility in footpaths and connections to and around the play space. Supporting infrastructure is adequate, along with natural appeal of the space and play area safety. Examples include Upper and Lower Hillcrest Reserve (co-located with a Sport space), Mills Avenue Park and The Strand Reserve.

Rating 27-47

16% - the highest scoring play spaces in Bayswater are Riverside Gardens and Bert Wright Park. Local level spaces such as Joan Rycroft, Swan Reserve and Hinds Reserve also score highly in supporting infrastructure and natural appeal. Play variety in these spaces is above average. All spaces have dedicated car parks.

Play function

The assessment revealed that, overall, the variety in age ability of equipment is low with most playgrounds catering for children aged 0-4 years and 5-12 years.

The play equipment in five play spaces caters for all ages. In addition to standard play equipment:

- Alf Brooks, Bert Wright, and Houghton all contain multi-courts (either basketball or tennis);
- Hinds Reserve and Riverside Gardens have adult exercise equipment.

All play spaces except two (Bert Wright and Evans Place) include the traditional style playground; Bert Wright contains nature play elements, whereas Evans Place is a linear nature reserve adjacent to Lower Hillcrest Reserve.

Accessibility and Inclusion

Accessible Pathways and Connections to and around Play Space

Overall, the accessibility to and around play spaces in Bayswater is above average. 64% of play spaces have at least a basic pathway and/or connection.

- 23% have continuous access to and around the play space;
- 41% have paths with no connection to play space;
- 34% play spaces have no path or connection.

Inclusive and Accessible Play Elements

Within Bayswater, 78% of play spaces with equipment do not have accessible play elements.

- Bert Wright, Hinds Reserve and Upper Hillcrest Reserve playground all have an accessible swing. Riverside Gardens has a rubber softfall surface and continuous path of travel to and around the play equipment and space.

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Accessible Parks Infrastructure

Seating

79% of play spaces have seating of some description at various locations; however, 30 of these are not universally accessible, i.e. they are surrounded by grass, rather than a concrete pad.

The remaining 4 seats are accessible i.e. situated on a concrete pad and connected by pathways; these are located at Bert Wright, Grace Hardie Memorial Rose Gardens, Riverside Gardens/Eric Singleton and Riverside Gardens Nature area.

Picnic tables

58% of play spaces contain picnic tables throughout Bayswater; the majority of these are not universally accessible.

- Halliday Park, Grace Hardie Memorial Rose Gardens and Swan Lake Reserve contain accessible picnic tables;
- 41% do not have picnic tables.

ACROD Parking

9 play spaces have ACROD parking availability. These play spaces also generally include accessible pathways, and either accessible seating or picnic tables, not generally both. 34 play spaces throughout Bayswater do not have ACROD parking bays.

Surrounding Environment

Supporting Infrastructure and Amenities

These include water fountains, shade over play equipment and bins. In the cases where bins were the only parks infrastructure item, this was scored as a 1; the minimum provision of parks infrastructure in a park is considered to be a bin and one other amenity, either natural shade over play equipment/shade sails or a water fountain.

- Houghton Park and Riverside Gardens/Eric Singleton provide all three listed amenities;
- 32% of play spaces provide 2 of the 3 listed amenities;
- 62% of play spaces do not provide any amenities, or bins only;
- Shade is provided (either natural or shade sails) over play equipment at Alf Brooks, Bert Wright, Donald Way, Gobba Lake, Hamilton, Norco Way, The Strand, Toowong, Houghton Park and Upper Hillcrest.

Natural Appeal of the Space

- 17 play spaces scored a 5 in this area, as the play space integrates well with the surrounding natural features. These were a mix of Pocket, Local, District and Regional play spaces, including Bert Wright Park, Riverside Gardens, Joan Rycroft Reserve and Swan Lake Reserve;
- 20 play spaces scored a 3, showing an average or limited relationship to surrounding natural features. These include play spaces that are co-located with a Sporting reserve, such as Upper Hillcrest Reserve and Houghton Park and Pocket spaces such as Armada Reserve and Coode St Reserve;

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- 6 play spaces scored a 1, showing an absence of natural appeal of the space or relationship to surrounding natural features. These are predominantly Pocket play spaces and examples are Dunkley Reserve and Norco Way.

Park and Play Area safety

- 11 play spaces scored highly regarding park and play area safety, having adequate signage, passive lighting and good visibility throughout. Examples are Charles Newman Gardens, Donald Way Reserve and higher-level spaces including Bert Wright Park and Riverside Gardens;
- Most play spaces showed an adequate level of park and play area safety; these tended to be Local level spaces. Some play spaces near roads or other hazards do not have fences, including Joan Rycroft or the play space is blocked from view by trees, such as Swan Lake Reserve;
- Play spaces in a poor location with inadequate surveillance, lighting or fencing were predominantly Pocket play spaces such as Dunkley Reserve.

Parking

- Over 70% of play spaces accommodate either on road or verge parking. 37% of these are dedicated and off road (bitumen).

Toilets

- Bayswater has 4 public toilets either within play spaces or located nearby; some are shared between play spaces i.e. Upper and Lower Hillcrest, Wymond Park and Evans Place are all within walking distance of a public toilet;
- Joan Rycroft Reserve is the only public toilet that is fully accessible;
- 33 play spaces do not have toilets within walking distance.

Key Findings

- Bayswater is lacking in variety in terms of play function; most play equipment is in the traditional style, except for nature play elements at Bert Wright Park and the natural landscaping of Evans Place Reserve. There are 4 multi-courts spread across the suburb. Assessments revealed limited play equipment/opportunities for children over 12 years of age, particularly in Local play spaces;
- Over half (62%) of the play spaces are lacking in supporting parks infrastructure at the Local level - bins, shade over play equipment and water fountains;
- Bayswater play spaces are above average in natural appeal and integration with the surrounding landscape, across the range of Pocket to Regional play spaces, e.g. Riverside Gardens, Swan Lake Reserve.

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Bedford

Bedford is one of the smaller suburbs throughout Bayswater with a total of 14 play spaces. They are classified as follows:

Pocket *	Local	District
Broun Crescent Lawrence North Lawrence Reserve	Alan Lehmann Reserve (D,P) Beaufort Park (P) Beaufort/Grand Prom Birkett St Reserve (D,P) Catherine Reserve (D) Gummery Reserve (P) RA Cook Reserve (D,P) Remembrance Park (D) York Reserve (P)	Browns Lake Reserve (P) Grand Promenade Reserve (P)

- 5 of the 14 are specified as a dog exercise area (D)
- 8 of the 14 play spaces contain play equipment (P)

* All three spaces have been highlighted as inappropriate for consideration as play spaces, due to their size, location and proximity to main roads.

Assessment ratings

Rating 7-10

28% - ratings are appropriate for the size, classification, location and nature of these spaces. The remaining useable play space, Lawrence Reserve, is adjacent to Browns Lake Reserve.

Rating 14-23

42% - spaces are mostly local, with a low scoring District play space in Browns Lake Reserve. Four out of six play spaces have play equipment. Pathways are present, without full connectivity to or around the play space.

Rating 26-31

28% - three out of four spaces are Local, showing adequate levels of amenity, supporting infrastructure and natural appeal. Grand Promenade Reserve, classified as a District play space, shares the highest score with Beaufort Park. Along with RA Cook, these three play spaces are co-located with a Sport space.

Play function

The assessment revealed low variety in type and age ability of equipment, with most of the play equipment catering for only two age groups - 0-4 years and 5-12 years in the traditional style.

Accessibility and Inclusion

Accessible Pathways and Connections to and Around Play Space

Accessibility through and around play spaces in Bedford is above average, as 85% of play spaces have a pathway or connection of some level. Birkett Reserve is the only park to have a fully accessible pathway and connections through the play space.

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- Most play spaces have paths with no connection to play space; 2 of the 14 play spaces don't have any paths or connections.

Inclusive and Accessible Play Elements

Beaufort Park and Alan Lehmann are the only play spaces within Bedford to have an accessible play swing that can be used by people of all ages and abilities.

Accessible Parks Infrastructure

Seating

57% of play spaces in Bedford have seating; the remainder do not have seating. None of the seating in play spaces in Bedford is universally accessible.

Picnic Tables

5 play spaces have picnic tables; Beaufort Park and Grand Promenade have accessible picnic tables. 9 play spaces do not have picnic tables.

ACROD parking

R.A. Cook, Grand Promenade Reserve and Beaufort Park have ACROD parking.

Surrounding Environment

Supporting Infrastructure and Amenities

These include water fountains, shade over play equipment and bins. In the cases where bins were the only parks infrastructure item, this was scored as a 1; the minimum provision of parks infrastructure in a park is a bin and one other amenity, such as a water fountain.

The supporting infrastructure and amenities vary throughout Bedford.

- 5 of the play spaces contain two amenities - these were generally bin/s and water fountain; shade over play equipment is lacking. Shade is provided at 4 reserves - Birkett Reserve, Alan Lehmann, Grand Promenade and York Reserve;
- 64% of play spaces do not contain amenities or contain bins only.

Natural Appeal of the Space

- 28% of play spaces score well in this area, with the play space integrating well with the surrounding natural features, including York Reserve and Remembrance Park;
- 42% show an average score, meaning a limited relationship to surrounding natural features, including RA Cook, Beaufort Park, Browns Lake and Grand Promenade Reserve;
- Catherine Reserve was the only park to score a 1 with no natural appeal of the space or relationship to surrounding natural features. Due to the proximity of this reserve to Grand Promenade, there is potential to further develop the spatial relationship between the two spaces and improve the overall amenity.

Park and Play Area Safety

Bedford play spaces score generally low in play area safety, as many playgrounds are placed in poor locations, lacking signage and overall surveillance.

- RA Cook Reserve facilitates integration and flow through the site, ample signage and lighting and a playground with clear lines of sight; this is a benefit of co-location with an active Sporting space;

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- 64% of play spaces are adequately safe with some consideration for surveillance and required fencing of the space;
- 28% of play spaces are poorly located on the site, with play equipment located in blind spots with minimum surveillance, lighting and signage. The water body at Browns Lake Reserve is in reasonably proximity to the play equipment and has the potential to be unsafe for young children.

Parking

- 4 of the 14 play spaces do not have parking;
- 6 of the 14 play spaces have either on road or off-road parking;
- 4 of the 14 of these car parks are dedicated or off road (bitumen). These are Beaufort Park, Catherine Reserve, Grand Promenade Reserve and RA Cook Reserve (contain ACROD bays).

Toilets

- Beaufort Park, Grand Promenade and RA Cook Reserve contain public toilets; Grand Promenade is the only public toilet that is fully accessible;
- 11 play spaces do not have toilets.

Key Findings

- There is a lack of variety in type and age catered for by play equipment; the majority is suitable for children aged 0-4 and 5-12 years and traditional style. In the play spaces without equipment, there is an opportunity to improve the space by integrating natural elements and landscaping for better flow and increased aesthetic value;
- There is a lack of accessible seating in play spaces as well as supporting parks infrastructure. 64% contain either bins only or no amenities;
- Most play spaces have enough parking for the level of play space;
- Pathways exist however connections to and around play spaces are insufficient and require improvement to facilitate mobility and enhance play area useability;
- Beaufort/Grand Prom does not appear to be a useable space, due to its size and proximity to two major roads (Beaufort St and Grand Promenade). Similarly, Broun Crescent and Lawrence North cannot be considered useable for the purposes of play or recreational activities;
- There are some opportunities to improve the integration with the natural features, including:
 - Design Browns Lake and Lawrence Reserve to create one free flowing space to improve the integration and relationship with surrounding natural features
 - Catherine Reserve has limited natural appeal of the space and relationship to surrounding natural features. Due to the proximity of this reserve to Grand Promenade, there is potential to further develop the spatial relationship between the two spaces and improve the overall amenity. This could be considered during Master Planning of Grand Promenade in the coming years.

Embleton

Embleton is one of Bayswater's smallest suburbs, with 7 play spaces, classified as follows:

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Pocket	Local
Irwin Reserve	Broun Park (D,P) Feredy Reserve (D,P) Hawkins Reserve (D) McKenzie Reserve (P) Ockley Square Reserve (P) Wotton Reserve (P)

- 3 of these include a dog exercise area (D)
- 5 of the 7 play spaces have play equipment (P)

Assessment ratings

In the limited number of play spaces in Embleton, there are significant variances between local play spaces.

Rating 8-10

The sole pocket play space Irwin Reserve is not considered useable for any form of play or recreational activity in its current condition; Hawkins Reserve is a small local play space with minimal amenity.

Rating 18-26

The remaining local play spaces range from low amenity, lack of natural appeal and supporting infrastructure to the high scoring Ockley Square Reserve, a small local play space with high natural appeal and unique position as a truly local play space for surrounding residents.

Wotton Reserve contains a skate park, catering for older age groups and is co-located with a Sporting space, therefore there is a higher level of dependence and greater probability of a car park and supporting infrastructure than a standalone Recreation space.

Play function

Play function in Embleton is minimal as the equipment caters for only two age groups, 0-4 and 5-12 years; no adult exercise equipment or courts are provided. The play equipment provided throughout Embleton is limited to traditional, except for Wotton Reserve, which contains a dedicated skate park, co-located with a Sport space.

Accessibility and Inclusion

Accessible Pathways and Connections to and Around Play Space

Over half of the play spaces in Embleton do not have a pathway or connection; none of the play spaces allow direct access to or around the play spaces.

Inclusive and Accessible Play Elements

There are no inclusive play elements.

Accessible Parks Infrastructure

Seating

Out of 7 play spaces with seating, none is accessible and a lack of path ways and connections hinder access to seating and picnic tables in all 7 play spaces.

Picnic Tables

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Broun Park, Feredy Reserve and McKenzie Reserve have picnic tables, but these are not universally accessible.

ACROD parking

Wotton Reserve is the only park within Embleton to have ACROD parking bays; parking is adjacent to the Sport space and not the play space.

Surrounding Environment

Supporting Infrastructure and Amenities

These include water fountains, shade over play equipment and bins. In the cases where bins were the only parks infrastructure item, this was scored as a 1; the minimum provision of parks infrastructure in a park is a bin and one other amenity, such as a water fountain.

Provision of supporting infrastructure and amenities at play spaces in Embleton is minimal.

- 2 of the play spaces contain 2 amenities;
- 5 play spaces do not contain amenities or only bin/s;
- Shade is provided over play equipment at Feredy Reserve and Broun Park.

Natural Appeal of the Space

Ockley Square Reserve scored a 5, as this play space integrates well with the surrounding natural features.

Broun Park, Feredy and Wotton Reserves scored a 3, showing a limited relationship to surrounding natural features.

Hawkins and McKenzie Reserves scored a 1 with no natural appeal of the space or relationship to surrounding natural features.

Park and Play Area Safety

Most play spaces in Embleton are adequate in terms of safety; some lack appropriate fencing and/or surveillance around play equipment.

Broun Park contains a body of water that is not fenced, which may be dangerous for young children, particularly as the surrounding trees are voluminous.

Parking

- 6 of the 7 play spaces provide for parking either on road or verge;
- Wotton Reserve has a dedicated car park.

Public toilets

Currently Embleton has no public toilet facilities available in play spaces.

Key Findings

- Pending further investigation and analysis, the biggest Recreation spaces, Broun Park and McKenzie Reserves could be further developed to provide a greater level of amenity and enhanced play function in the area;
- Supporting infrastructure including bins, shade and water fountains is low across local play spaces in Embleton;
- Accessibility is an issue in Embleton. With a limited supply of local play spaces for residents, an emphasis on providing pathways, connections and accessible parks

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infrastructure and play elements is recommended. This could be improved with a footpath network and connections along local streets;

- Play spaces could be better designed to incorporate natural elements and features or at least complement it in some way through landscaping;
- There is a lack of variety in play equipment; the majority caters for either children aged 0-4 or 5-12 years; types of play equipment are traditional in nature. Wotton Reserve, co-located with a Sport space, is the only park to cater for older children and young adults, with a skate park. The access to the skate park is limited and the location does not facilitate adequate surveillance

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Maylands

Maylands has a total of 29 play spaces, classified as follows:

Pocket	Local	District
Anchorage Park	Brickworks Park	Bath St Reserve (P)
Dakota Park	Charles Reserve (P)	Gibbney Reserve (P,D)
Donald Park	Clarkson Reserve (P)	Berringa Park
Hinkler Park	Maylands Yacht Club	De Lacy Reserve (P,D)
Kelvin/Sherwood (P)	Reserve	Bardon Park (P,D)
Maylands	Plowmans Park (P)	Lake Brearly
Memorial/Town Hall/Old	Puntie Crescent Reserve	Lake Bungana (P)
Police Station	(P)	Maylands Foreshore
Milmo Lane Reserve	Shearn Memorial Park	Maylands Nature Foreshore
Peninsula Road Reserve	(P)	The RISE (P)
Watervista Park	St Margaret Reserve (P)	Tranby Reserve
	Tranby Lake	

- 13 have play equipment (P)
- 3 out of the 29 play spaces are classified as dog exercise areas (D). This is low compared with other suburbs.

Assessment ratings

Maylands is well serviced by play spaces of various classifications and types across the suburb. Unlike other suburbs, a number of district spaces in Maylands are large areas with a Nature function, due to the location and surrounding environment.

Rating 8-20

51% - most of these play spaces are classified as Pocket, therefore an overall rating of less than 20 is appropriate due to the intended level of service of this classification. Interestingly, 2 play spaces in this grouping have play equipment (Kelvin/Sherwood and Charles Reserve) and none are designated as dog exercise areas. The low scoring District classifications are attributed to Nature spaces with a low level of amenity and accessibility.

Rating 21-29

27% - these spaces are a mix of well-equipped Pocket and Local play spaces (Maylands Memorial/Town Hall, Clarkson Reserve and Puntie Crescent Reserve) and District Nature spaces, including Lake Brearly, Lake Bungana and Tranby Reserve.

Rating 30-44

22% - the highest scoring play spaces are District level Bardon Park, Gibbney Reserve and Bath Street Reserve. St Margaret Reserve, De Lacy and Shearn Memorial Park show ratings of 30, 30 and 32 respectively due to high natural appeal, supporting infrastructure and accessibility.

Play function

The majority of play equipment in Maylands play spaces is standard and traditional style, mostly catering for two age groups, 0-4 and 5-12 years; however, there are some examples of non-traditional elements, such as:

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- flying foxes in Bardon Park and De Lacy Reserve;
- connecting bike paths and varying topography in Bath Street Reserve;
- multi-courts at Gibbney Reserve and Shearn Memorial Park;
- adult exercise equipment elements in Clarkson, Maylands Foreshore and St Margaret Reserve.

Bardon Park and Gibbney Reserve both have 2 sets of play equipment; Bardon contains unique public art elements and nature play.

Accessibility and Inclusion

Accessible Pathways and Connections to and Around Play Space

This is generally good, with 82% of play spaces having basic access either around or directly to the play space; 9 of these play spaces are fully accessible by pathways.

Inclusive and Accessible Play Elements

4 play spaces within Maylands have at least one piece of accessible play equipment; these are Bardon Park, St Margaret Reserve, DeLacy Reserve and Clarkson Reserve; one of the sets of play equipment in Gibbney Reserve contains rubber soft fall, creating access to all equipment.

Accessible Parks Infrastructure

Seating

- 55% of play spaces contain seating; 38% of these are accessible;
- 3 play spaces do not contain any seating.

Picnic Tables

10 play spaces have picnic tables, 8 of which are not accessible. Bath Street Reserve and The RISE are the only play spaces in Maylands to have accessible picnic tables.

ACROD parking

6 Play spaces contain ACROD parking bays, out of 14 with dedicated parking areas.

Surrounding Environment

Supporting Infrastructure and Amenities

These include water fountains, shade over play equipment and bins. In the cases where bins were the only parks infrastructure item, this was scored as a 1; the minimum provision of parks infrastructure in a park is a bin and one other amenity, such as a water fountain.

Supporting infrastructure and amenities are minimal across the board in Maylands.

- 69% of play spaces either provide bins only or no amenities;
- 24% provide 2 amenities;
- Bardon Park, Bath Street Reserve, Gibbney Reserve and Shearn Memorial Park provide all 3 amenities - bins, shade (either natural or shade sails) and water fountains;
- Kelvin/Sherwood and Puntie Crescent have shade over the play equipment.

Natural Appeal of the space

17 play spaces showed a high score and integrate well with the surrounding natural features. This is largely due to the incidence of natural areas and green space in Maylands as a

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whole. Examples of these play spaces are Anchorage Park, Donald Park and Tranby Reserve.

11 play spaces scored a 3, with limited relationship to surrounding natural features, including the RISE, Puntie Crescent Reserve and Milmoie Lane Reserve.

Peninsula Road Reserve scored a 1 with no natural appeal of the space or relationship to surrounding natural features.

Parking

- 14 play spaces allow for dedicated parking. These are spaces classified as District level or co-located with a Sporting or Nature space;
- 9 provide for either on road or off-road parking;
- 6 play spaces have no parking availability.

Public toilets

- 72% of play spaces do not contain public toilet facilities;
- 28% of play spaces have public toilets; however, Gibbney Reserve has the only fully accessible toilet in Maylands.

Key Findings

- Some Pocket play spaces such as Dakota and Watervista are adjacent to lakes and natural areas, providing opportunities for networks of green space. There is an opportunity to link Brickworks Park with Watervista Park by pathways and connections, similarly Peninsula Road Reserve and Milmoie Lane Reserve;
- Smaller Pocket play spaces such as Kelvin/Sherwood present an opportunity for community input into the space, like St Margaret Reserve; to plant Edible Gardens and create a community space;
- There are unique spaces such as Donald Park and Hinkler Park on the river that give Maylands a greener and more distinct character when compared with other suburbs. Points of difference include Bardon Park, St Margaret Reserve and the abundance of Nature spaces including the river, lakes and foreshore;
- There are only 3 dog exercise areas in Maylands. This may increase the desire in the community to have an enclosed dog park/area in the future;
- Universal accessibility is an issue in Maylands, particularly in terms of seating. Supporting infrastructure including bins, water fountains and shade over play equipment (either natural or shade sails) is also generally low and inconsistent across play spaces in Maylands. District level play spaces are generally better equipped than Local and Pocket level, however many spaces have either bins or nothing.

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Morley

The City's largest suburb, Morley has the highest number of play spaces for the City at 51, classified as follows:

Pocket	Local	District
Gracechurch Reserve Brisbane Park Cherry Court Reserve Commemorative Park Dick Lucas Park Dorman Reserve Banstead Way Reserve Fedders Reserve (P) Hammersley Reserve Hollett Reserve Ivanhoe Street Reserve Jakobsons Reserve (North) (P) Robann Reserve Stanbury Reserve (P) Woking Reserve Wonga Reserve	Addlestone Reserve Allan Hill Park (P) Battersea Reserve (P) Boxhill Reserve (P) Charlwood Reserve (P) Chesney Reserve (P) Crowhurst Reserve (P) Elstead Reserve Emberson Reserve (P) Farnham Reserve (P) FJ Beals Park (P, D) Gus Weimar Park (P) Hampton Square Reserve (P, D) Jakobsons Reserve Kanimbla Reserve (P) Kennedy Reserve (P) Mahogany Reserve (P) Moses Saunders Park (P) Newington Reserve (P) Nora Hughes Park Pat O'Hara Reserve (P, D) Peters Place Reserve (P) Rhodes Reserve (P) Rudloc Reserve (P, D) Shadwell Reserve (P, D) Silverwood Reserve (P) Tom Cameron Park (P) Trewin Park (P) Waltham Reserve (P) Wattle Park (P) Weld Square Reserve (P, D)	Abinger Reserve (P,D) Arbor Park (P,D) Crimea Park (P, D) Russell St Reserve (P)

Morley has the highest number of play spaces with some form of play equipment (34) in the City. 27 of these are Local level; 3 are Pocket level. 6 Local and 3 District spaces are classified as dog exercise areas.

Assessment ratings

Rating 6-15

31% - These spaces are mostly Pocket play spaces, without play equipment, supporting infrastructure or accessible pathways. Natural appeal and integration to the surrounding landscape is minimal.

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Rating 16-20

29% - These spaces are all Local play spaces and one Pocket; the majority with play equipment. Supporting infrastructure in these play spaces is minimal, natural appeal is average and accessible pathways are limited.

Rating 21-33

39% - These spaces are mostly high level Local and District level play spaces. 6 of these spaces have multi-courts and the majority have play equipment. Natural appeal of the space and surrounding environment is average, as is park and play area safety.

Play function

Morley has limited variety when considering the total number of play spaces with equipment (34). Play equipment is generally aimed at 0-4 and 5-12-year-old children in most play spaces; however, 8 play spaces cater for a broad range of age groups. These include:

- Russell Street Park - ninja warrior course;
- Outdoor multi courts at Arbor Park, Allan Hill, Boxhill, Hampton Square, Crimea and Wattle Reserves (this is the highest number of courts in any one suburb);
- Abinger and Crimea Reserves contain adult exercise equipment;
- Crimea Reserve contains a skate park.

Accessibility and Inclusion

17% of the play spaces with equipment have inclusive play elements. These are Abinger, Crimea, Emberson, Fedders, Hampton and Russell. Surfaces prevent these play elements from being universally accessible, as they are mostly surrounded by sand or mulch.

Accessible Pathways and Connections

- 2 play spaces (Hampton and Russell) have full accessibility to and around the play space;
- 29% of all play spaces have pathways without complete connections (mostly Local level);
- 62% of play spaces do not have pathways or connections (a mix of Local and Pocket spaces).

Accessible Parks Infrastructure

Seating

82% of play spaces have seating. None of this seating is universally accessible.

Picnic Tables

29% of play spaces contain picnic tables; however, these are not accessible. Arbor Park and Hampton Square have accessible picnic tables.

ACROD Parking

4 play spaces have ACROD parking bays available, out of 11 with dedicated car park areas.

Surrounding Environment

Supporting Infrastructure and Amenities

- Abinger and Rudloc Reserve are the only play spaces in Morley to have all 3 basic amenities - bins, shade over play equipment and water fountain/s;

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- 33% of the play spaces have two amenities; 62% have either bins or nothing;
- There is natural shade over play equipment at Allan Hill, Chesney, Dick Lucas, Jakobsens North, Kanimbla, Peters Place, Rhodes, Rudloc, Russell St and Silverwood Reserves. There are no shade sails over play equipment in Morley.

Natural Appeal of the Space

- 27% of play spaces in Morley show a high level of natural appeal and relationship to the surrounding natural environment; these are predominantly Pocket and Local play spaces; Examples include Nora Hughes Park, Arbor Park, Hampton Square and Kennedy Reserve;
- 50% of play spaces show an average relationship to the surrounding environment and natural appeal;
- 23% of play spaces show a limited natural appeal, including Farnham, Ivanhoe and Gracechurch Reserves.

Park and Play Area Safety

- 3 play spaces are well placed, allowing for surveillance, integration and flow, with signage and passive lighting. These are Russell St, Elstead Reserve and Hampton Square;
- 74% of all play spaces (73% of which have play equipment) have an adequate level of safety, with some consideration for surveillance and the required external post and rail fencing of the space. Issues include lack of surveillance (mainly due to tree cover), lack of lighting and close proximity to hazards such as main roads and water bodies. Examples include Crimea Park (play equipment is next to a dense patch of bushland) and Weld Square (many blind spots in the play space caused by the shape of the space and dense trees). Hamersley and Woking Reserves are located on busy roads;
- 19% of play spaces are poorly located with blind spots, minimal lighting and signage. These play spaces are generally Pocket level, half of which have play equipment. Examples include Ivanhoe and Robann Reserves.

Parking

- 21% of play spaces have dedicated off road car park areas (bitumen); 4 of these are co-located with a Sport function (Crimea, Emberson, Pat O'Hara and Waltham Reserves);
- 54% of play spaces have the opportunity for verge parking or a small car park;
- 23% of play spaces do not have parking available. These spaces are Pocket and Local level, apart from Russell Street park, which is located on a major transport route in the town centre.

Public Toilets

Crimea Park is the only public toilet available within Morley; there are no universally accessible toilets.

Key findings

- When comparing the assessment ratings with other suburbs, Morley shows a lower range of scores overall. Play spaces are generally lacking in accessible pathways, seating and basic supporting infrastructure; 62% have either bins or nothing;
- Local level play spaces are lacking in play type variety. There are some good examples of varied play equipment and a good distribution of multi-courts, however

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the quality of play experiences for residents in walking distance of play spaces is generally lower than in other suburbs;

- Crimea Park is the only park in Morley to have a public toilet and this is not wheelchair accessible;
- The natural appeal of play spaces in Morley is low in comparison with other suburbs, this is a key area to be addressed in terms of landscaping improvements and future play space renovations;
- There are some reserves that are larger than 1 hectare in size, including Allan Hill, Battersea and Newington Reserves, that have potential for an improved play function, above the current level. Opportunities include landscaping, nature play elements and improved supporting infrastructure such as seating, picnic nodes and BBQs.

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Noranda

Noranda has a total of 26 play spaces, classified as follows:

Pocket	Local	District	Regional
Sewell Court Thornber Reserve	Belstead Reserve (P,D) Bohemia Park (P,D) Bramwell Reserve (P) Bunya Reserve Corderoy Reserve (P,D) Deschamp Reserve (P,D) Fitzpatrick Reserve (P,D) Holden Reserve (P,D) Ivory Park (P,D) Kirkpatrick Reserve Lightning Park Recreation Centre (P) Logan Reserve (P) Luderman Park (P,D) Maxwell Reserve McPherson Reserve (P) Millerick Reserve (P,D) Nederpelt Reserve (P) Noranda Avenue Reserve (P) Noranda Sporting Complex (P) Sherbrooke Reserve (P) Strutt Reserve (P)	Noranda Primary Reserve	Robert Thompson Park (P,D) Lightning Swamp Bushland

- 19 out of 26 play spaces have play equipment
- 11 out of 26 play spaces cater for dog exercise.

Assessment ratings

Noranda contains the highest amount of Public Open Space in the City at 133 hectares across 26 play spaces. These are mostly classified as Local.

Rating 12-18

30% - 5 of these play spaces do not contain equipment, including Lightning Swamp and Pocket play spaces Sewell Court and Thornber Reserve (two Pocket level spaces that add to green space and facilitate connection rather than play). Spaces generally have a lower functionality and lack of infrastructure.

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Rating 21-26

53% - 5 of these play spaces are co-located with a Sport function, including Deschamp and Noranda Primary Reserves. Variety in play is average; accessibility in pathways and infrastructure is low. All play spaces have access to verge parking or dedicated carpark areas.

Rating 30-44

15% - 3 Local and 1 Regional level play space fall into this range, demonstrating generally higher variety in play elements and activities for different age groups; increased accessibility and supporting infrastructure. Robert Thompson Park (Regional) contains a public toilet.

Play function

- 75% of play spaces with equipment cater for the standard two age groups - 0-4; 5-12 years;
- 4 play spaces include outdoor multi-courts (Holden, Ivory, Nederpelt and Strutt Reserves);
- 1 play space includes connected bike paths (Robert Thompson).

Accessibility and Inclusion

Accessible Pathways and Connections to and Around Play Space

50% of play spaces have some pathways and/or connection to play spaces from the road, footpath or carpark.

4 of these have full accessibility to and around the play space. These are:

- Robert Thompson Park
- Kirkpatrick Reserve
- Bunya Reserve
- Ivory Park

8 play spaces (Local, District and Regional levels) have pathways but are lacking connections directly to the play space, such as Lightning Park Recreation Centre and Noranda Sporting Complex.

The remaining 13 play spaces, all Local level, do not have pathways or connections. These include Corderoy, Nederpelt and Sherbrook Reserves as an example.

Inclusive and Accessible Play Elements

- Robert Thompson Park provides accessible play elements and rubber softfall surface for universal accessibility;
- 26% include some accessible play equipment, these include Ivory Park, Fitzpatrick Reserve and Strutt Reserve;
- 50% of the play spaces with equipment do not have any inclusive or accessible play elements.

Accessible Parks Infrastructure

Seating

- 3 play spaces contain accessible seating; these are Ivory, Kirkpatrick and Lightning Park Recreational Centre;

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- 19 play spaces contain seating of some description that is not accessible/surrounded by grass;
- 4 play spaces do not contain any seating.

Picnic Tables

73% of play spaces in Noranda contain picnic tables, 3 of these are accessible.

ACROD Parking

ACROD Parking is provided in 3 play spaces - Lightning Park Recreational Centre, Lightning Swamp Bushland and Robert Thompson Park.

Surrounding Environment

Supporting Infrastructure and Amenities

- 23% of play spaces throughout Noranda have all amenities - bin/s, water fountain/s and shade over play equipment;
- 30% of play spaces have 2 amenities;
- 46% have no amenities or bins only;
- Shade is provided at Deschamp, Fitzpatrick, Millerick Reserve, Nederpelt Reserve and Strutt Reserve.

Natural Appeal of the Space

- 30% of play spaces relate well to the surrounding environment and natural features. These include Robert Thompson, Kirkpatrick and Nederpelt Reserves;
- The remaining 70% demonstrate an average relationship to surrounding natural features and landscaping; some play spaces have play equipment in an isolated area. Most show some level of integration of landscaping and/or natural features into the play space; Examples are Logan Reserve, Bohemia Park and Holden Reserve.

Park and Play Area Safety

- 15% of play spaces are well placed allowing for integration and flow, have signage, lighting and good surveillance; these include Robert Thompson, Kirkpatrick and Nederpelt;
- 61% of play spaces are adequate, with some consideration for surveillance, signage and the required fencing of the space, where necessary; these include Luderman, Deschamp and Fitzpatrick Reserves;
- 23% were poorly located with blind spots and minimum surveillance such as Maxwell Reserve and Bohemia Park or close proximity to hazards, e.g. water body in Ivory Park.

Parking

- 38% have dedicated car park areas/off road (bitumen);
- 42% have provision for car parks either on road or verge;
- The remaining play spaces do not have parking available.

Public Toilets

1 public toilet is provided within Noranda Robert Thompson Park, this is not fully accessible.

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Key findings

- The two Pocket play spaces in Noranda are not big enough to have a play function, as they would mainly be used for the pathway connection between streets. Potential minor improvements to these spaces could include drought-resistant native plantings and wayfinding;
- Reserves such as Kirkpatrick, McPherson and Millerick are a significant size with the potential for an increased level of play function and supporting infrastructure. These reserves could be renovated and therefore serve a greater catchment than a Local level;
- The variety in play function across Noranda is low; most play equipment is of the traditional style, catering for the same age range;
- 50% of all play spaces in Noranda do not have accessible pathways and connections. This should be improved to allow universal access in a greater number of parks and reserves. Similarly, accessible parks infrastructure such as seating and picnic tables is low.

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Overall key findings

The intent of this audit of play spaces was to paint a picture of play space provision in order to compare suburbs and identify gaps in provision and key issues to be addressed. The overall key findings across all suburbs are presented as follows:

Play Opportunities

- There is an evident lack of diversity and creativity in existing play experiences. Older children aged 12 to 16 years and toddlers are generally not catered for in most play spaces in terms of equipment, except for two skate parks, bike paths (limited) and outdoor multi-courts.
- There is a lack of holistic planning and design of play spaces; as a result, play equipment location is generally not integrated successfully, overall site consideration is largely absent and relationships to the natural environment are not featured.
- Cultural heritage, local stories and recognition of Aboriginal stories are largely absent in parks and reserves.

Distribution

- Play space provision across the City is inequitable when comparing suburbs. Morley, Embleton and Bedford are lacking, both in number and quality. In Morley, there are many Local level play spaces with low amenity and limited supporting infrastructure and few District level spaces. Inequities are also caused by the high incidence of natural areas and river foreshore in Maylands.
- Most residents have access to a park or reserve within a 300m walk of their house; the City does not have a shortage of parks and reserves. When considering upgrades however, the emphasis should be on the area surrounding the play space, the existing network of parks and reserves and the diversity of experiences already offered in that suburb.

Quality of provision

- There is an inequitable spread of play spaces across the City. For example, parks and reserves that are classified as District according to the size of the POS does not necessarily result in a District level play space; the purpose that the park serves at a broader precinct level has not been considered. There are opportunities to improve the level and quality of provision for some suburbs (Embleton and Morley in particular) by reclassifying and upgrading certain spaces.

Access for all abilities

- Access to and around play elements and spaces is lacking across the board, including perimeter pathways, connections and around park furniture such as picnic tables and seating. Overall the standard of access and inclusion in the City's play spaces is inadequate. As play spaces are gradually upgraded however, the standard of access and inclusion will increase over time.

Facilities

- Basic supporting infrastructure including bins, water fountains and shade (either natural or shade sails) is generally low, except for Noranda play spaces which show higher numbers of supporting infrastructure components at most spaces. As upgrades of play spaces are done, over time the inconsistencies should level out, if

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budgets allow the level of amenity in parks and supporting infrastructure to be improved.

Conclusion

Key findings from this report will inform specific recommendations as part of the overall Play Space Strategy and Implementation Plan, to be costed and prioritised in a schedule of staged works over the next ten years.

The City boasts a wealth of green space that is enjoyed by the community in a number of different ways, apart from and including children's play. It is for this reason that the objective of the Play Space Strategy is to explore how we can provide a range of play and recreation experiences that are more equitable, aligned with community expectations and reflect the right balance of sustainability and local character across all suburbs.

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Appendix 1

Name of park		Current classification
Assessment area	Sub-Area	Rating guideline
Play Function	<u>Variety in age and ability of equipment</u> 0-4 yrs; 5-12 years; teen play; adult	One age group - 1 Two age groups - 3 Broad range - 5
	<u>Types of play elements incl:</u> Traditional - catalogue Natural - discovery, challenge, risk Creative/Imagination - sensory, themed Physical elements - skate, bike, courts	Limited - 1 2+ types - 3 3+ types - 5
Accessibility and Inclusion	<u>Accessible pathways and connections to and around play space</u>	No path or connection - 1 Path/s without connection - 3 Paths and connections to play area - 5
	<u>Inclusive and accessible play elements</u>	No accessible play equipment - 1 Some pieces are accessible - 3 Majority is accessible - 5
	<u>Accessible parks infrastructure</u>	Seating is accessible Y - 1; N - 0 Picnic tables are accessible Y - 2; N - 1 Other infrastructure incl ACROD parking and accessible toilets Y - 2; N - 0
Surrounding Environment	<u>Supporting infrastructure and amenities, incl:</u> water fountains, shade over play equipment and bins	No supporting amenities - 1 Limited supporting amenities (ie 2) - 3 All listed supporting amenities - 5
	<u>Natural appeal of the space, including landscaping</u>	No relationship to surrounding natural features - 1 Limited relationship to surrounding natural features - 3 Integrates well with surrounding natural features - 5
	<u>Park and play area safety, incl:</u> proximity to main roads, water bodies and hazards; signage; passive lighting; adequate visibility and surveillance; fencing where necessary	Poor location with limited surveillance/min signage/min lighting; no fencing - 1 Adequate location, some consideration for surveillance, limited signage, adequate fencing - 3 Well placed to allow integration and flow; safe, signage and lighting; required fencing - 5
	<u>Car park within the reserve</u>	No parking - 1 Opportunity for on road parking/small car park up to 5 vehicles - 3 Dedicated off road, bitumen - 5
	<u>Public toilets</u>	None provided - 1 Public toilet available - 3 Fully accessible public toilet - 5

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Appendix 2

Previous playground hierarchy

Requirements	Local Level	District Level	Regional Level
Catchment Area	300 - 500 meter radius from home	1 - 2 Km Radius from home	Whole of City
Size	Up to approx. 100 sq. m	Approx. 100-150 sqm	200 sqm +
Budget	Up to \$19,000 (indexed each year)	\$19,000 - \$35,000	\$70,000 +
Equipment	1 - 5 Activities	5 - 10 Activities	10 + Activities/Structures
Soft Fall	Sand or mulch	Sand or mulch	Rubber or other inclusive surface highly desirable. Can also contain sand and mulch.
Shade	Natural	Natural or sail	Shade Sails Desirable
Additional Infrastructure	1 x bench chair	Benches &/or picnic shelters	Multiple benches, picnic settings, drink fountain (desirable), BBQs, and pathways.
Toilets	Not Required	Desirable	Required
Parking	Street or Verge	Car Park Required	Car park required (should contain ACROD bay)
Locations	Non Central	Generally, more central i.e. Active Reserves (however is dependent upon usable space distance from sporting fields)	Central hubs with a catchment area greater than the LGA boundary i.e. River foreshore area.

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Appendix 2

Executive Summary

A strategy is currently being developed to assess the current provision and plan for future provision of play spaces across the City. This strategy will analyse current usage of play spaces, community need and level of provision to inform a sound approach to future planning and set priorities for implementation over the next 10 years.

For the purposes of the strategy, the definition of a play space is:

A place that allows all people, regardless of age or ability, to experience physical and creative play, social interaction and physical activity. Play spaces can be standalone or co-located with community and sporting facilities; in natural environments, public open space or urban areas. Play spaces accommodate a variety of uses, amenities and elements.

In short, a play space refers to public open space that is owned or managed by the City, zoned for recreational use and useable. This includes play spaces, gardens, natural areas, public courts and spaces in which unstructured recreational activity takes place.

For the purposes of this strategy, the following spaces and places are NOT deemed as play spaces:

- Sports fields (unless co-located with a play space i.e. playground on the periphery of a football oval)
- Sport specific infrastructure including goals, full size indoor and outdoor courts, cricket wickets
- Sport and community buildings i.e. Libraries, senior citizens centres
- School grounds
- Leisure and recreation centres, such as Bayswater Waves, the RISE and Maylands Waterland
- Public art (without components designed for interaction/play)
- Footpaths, trails, roads and car park spaces (these will be considered in terms of connections and accessibility only)

The purpose of community engagement was to gather valuable feedback on play space usage and generate ideas to inform future play space planning, design and implementation. The City's aim was to involve the community and ensure their concerns and aspirations were directly reflected in the alternatives developed. A vital part of the engagement approach was to close feedback loops regularly in the process to keep the community updated and continue momentum throughout the project.

The main anchor point for community engagement was the project page on the City's online engagement platform, Engage Bayswater. All background information, project updates and details were posted on this page; all communications directed interested community members to this page.

Throughout the course of the Play Space Strategy, three phases of engagement were undertaken. Each phase is explained in detail below. Throughout the project, an estimated 400 people were engaged in various ways.

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Phase 1

This phase consisted of a preliminary community engagement survey (online) through Engage Bayswater. The survey ran for one month commencing 7 April 2018 and was launched at the Autumn River Festival at Riverside Gardens. City staff completed surveys on I pads during the festival.

The survey questions were:

1. *What do you like to do when you visit a play space?*
2. *Tell us your favourite play spaces and what you like about them?*
3. *Would you like to be kept informed about the project, including future engagement activities for the Play Space Strategy? (Y/N)*

The purpose of the survey was to gather feedback on usage, motivation and preferences for visiting play spaces both in and outside of the City, seek broad community input to inform the scope and build interest in the community around the Play Space Strategy. The final question gave respondents the opportunity to remain involved and participate in the next phase of engagement activities.

122 responses were received. It could be concluded from the responses that the majority of respondents were parents or carers.

Survey findings

1. Question 1 - *What do you like to do when you visit a play space?*

The rationale behind this question was to gather information on the activities people/children enjoy and observe the common themes emerging from the data. Many respondents listed things they liked/preferred about play spaces, e.g. 'well-shaded seating areas' rather than specifically what they liked to do in them, e.g. 'walk with dog' however responses were interpreted consistently as activities.

The questions were qualitative in nature, rather than quantitative (e.g. multiple choice questions with tick boxes); therefore responses could contain several mentions of activities, including *kids play*, *BBQ*, *shade*, *relax* etc. The activity scores were based on the number of mentions, rather than the number of responses.

1.1. Activities

The top 5 ranked activities mentioned were:

- Kids Play - this term was used to encapsulate references to non-specific activity, equipment and play space/playground (36)
- Shade (28)
- Seating (26)

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- Natural environment and wildlife (15)
- Coffee/relaxing/grassed open space/socialising (14 - tied for same score).

The following activities were close in scores thereafter:

- Picnic (13)
- Walking/cycling/exercise (adults) (12)
- Dog walking/Adventure and challenge (11 - tied for same score)

1.2. Equipment type

The data relating to specific types of play equipment for children (rather than the generic term 'Kids Play' mentioned above) showed the following types, in order of preference:

- Nature play elements/Swings (12 - tied for same score)
- Toddler and young children's play equipment (10)
- Ball games (kicking a football) (8)
- Climbing walls and frames (8)
- Slide/Flying fox (7 - tied for same score).

1.3. Key findings - Q1

It is evident from the survey responses that firstly, children's play (non-specific) is the main driver for visiting a play space and secondly, supporting infrastructure is important to respondents' enjoyment, along with the natural environment, particularly the river. Survey results are shown in Attachment 1.

2. Question 2 - Tell us your favourite play spaces and what you like about them?

The rationale behind this question was twofold; firstly, to gather specific data on visitation to play spaces within the City and secondly, to gain insight into popular play spaces outside the City and the attractors or distinguishing features of both.

The following points should be noted:

- a) The first 60 surveys were undertaken at the Autumn River Festival held in Riverside Gardens; this may have positively impacted the number of mentions
- b) A number of respondents listed names of play spaces without any attractors/distinguishing features. These scores were excluded from the total scores, however are not disregarded from the overall analysis.

2.1. Play space ranking - City of Bayswater

The highest ranking play spaces in the City were:

- Riverside Gardens (54 mentions)
- Bardon Park (35 mentions)
- Bert Wright Park (12 mentions)

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All remaining play spaces showed low scores in comparison to the top 3. A complete list can be found in Attachment 2.

2.2. Attractors/distinguishing features

The top 5 attractors overall in relation to play spaces in Bayswater were, in order of preference:

- Enjoyment of the natural environment (both by adults for relaxation and children's play) (20)
- Grassed open space/Enclosed playgrounds (10 - tied for same score)
- Shade (9)
- Nature Play/Access to coffee (8 - tied for the same score); and
- Flying fox (7)

The following table shows the relationship between the highest ranking play spaces and their specific attractors:

Play Space	#1 attractor	#2 attractor	#3 attractor
Riverside Gardens	Enclosed playground	Natural environment	Dog walking
Bardon Park	Flying fox	Natural environment	Shade/Coffee
Bert Wright Park	Nature Play	Collocation	Coffee

2.3. Play space ranking - outside City of Bayswater

The highest ranking play spaces outside the City were:

- Yokine Play Space, Yokine (53 mentions)
- Woodbridge Riverside Park and Play Space, Woodbridge (42 mentions)
- Braithwaite Park, Mt Hawthorn (41 mentions)
- Hyde Park, Perth (25 mentions)
- Stickybeaks Playground, Kings Park, Perth (21 mentions)

The next play spaces in the list were Dianella Play Space, Dianella (16 mentions) and Rio Tinto Naturescape, Kings Park (16 mentions). There was a distinct drop in scores between these and all remaining play spaces. A complete list can be found in Attachment 2.

2.4. Attractors/distinguishing features

The top 5 overall attractors to play spaces outside the City of Bayswater were:

- Multiple options for play available (33)
- Enclosed playgrounds (31)

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- Shade (23)
- Water Play (21)
- Nature Play (20)

The following table shows the relationship between the highest ranking play spaces and their specific attractors:

Play Space	#1 attractor	#2 attractor	#3 attractor
Yokine Play Space, Yokine	Enclosed playground	Shade	Multiple options
Woodbridge Riverside Park and Play Space, Woodbridge	Multiple options	Enclosed playground	Coffee
Braithwaite Park, Mt Hawthorn	Multiple options	Shade	Enclosed playground
Hyde Park, Perth	Water play	Shade	Kids Play
Shoosbeeks Playground, Kings Park, Perth	(tied for same score) Multiple options Coffee Enclosed playground		

2.5. Key findings from Q2

It is clear from the data that the natural environment is a key factor in people's enjoyment of play spaces in the City. In terms of frequency of mentions, both Open Space and the Natural Environment scored highest for those play spaces within the City. Additionally, Riverside Gardens scored higher than the highest ranking play space outside the City (if including the number of mentions without an attractor) at 62% of total responses.

A key factor attracting visitors to play spaces outside the City is multiple options for play.

3. Additional comments - social media

Community members commented on Facebook posts promoting the survey (comments in Attachment 3). Key points from these comments were:

- Safety concerns around the nature playground in Bert Wright Park vs challenge and risk for children
- Incidence of dogs and proximity to children's play areas.

It is noted that actions from the Dog Exercise Area Review will influence the Play Space Strategy in terms of safety and play space design and location.

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4. Themes

Themes emerged from the language respondents used to describe what is important to them and corresponding attractors. The data shows a definite congruence with industry trends; that the popular play spaces are designed for depth and variety in experience for multiple age groups, with infrastructure to support longer visits, hence responses such as shade, coffee, seating and socialising.

Another industry trend in play space and equipment design is a focus on challenge and elements of risk. Evidence of this was moderate in comparison to other activities in responses to Question 1; interestingly there was an overall focus on safety around play, specifically referring to fencing or enclosed play spaces for children.

The natural environment, shade and open space were shown to be key factors to the overall experience for children and their parents/carers. This is congruent with the trends around nature and water play.

5. Ongoing stakeholder communication

Respondents in this phase had the option to provide their email address for future contact from the City in regards to further opportunities for comment on the Play Space Strategy. A significant contact list was created as a result, allowing officers to 'close the feedback loop' with interested community members and advise of further engagement in phases 2 and 3 of the engagement process.

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Phase 2

This phase consisted of a broad community engagement campaign of both online and in-person activities, during the month of September 2018.

The objectives of this engagement were to:

- Further expand on themes previously identified in Phase 1
- Gather specific information on local play spaces and local issues through a survey on Engage Bayswater
- Propose ideas for future planning and design through interactive sessions, interviews and information gathering.

In order to gain a more accurate sense of the spaces the community use on a local level, a more focussed approach was used to ask the community what they think of their local play spaces to try to get a more detailed picture. The activities were deliberately broad, as the strategy encompasses the whole community's use of play spaces, as opposed to purely children using playgrounds.

The methods used were:

- Online mapping tool and survey on Engage Bayswater
- Community drop-in sessions held at the City's libraries in conjunction with the Listening Posts (part of Strategic Community Plan engagement)
- Schools engagement activities with approximately 200 students at 3 primary schools and 1 secondary school
- Conversations with shoppers at Noranda Shopping Village
- Ideas sessions with Youth Advisory Committee and Community Access and Inclusion Advisory Committee

Mapping tool results

A total of 65 contributors dropped a total of 205 'pins' across 70 play spaces throughout the City of Bayswater. Respondents could choose between three responses, or different coloured 'pins':

- I enjoy this play space (green) - 47%
- I have an idea for this play space (yellow) - 28%
- I have an issue with this play space (red) - 25%

205 pins were dropped in play spaces across all suburbs; 4 regional, 17 district and 49 local. We also received a number of emails after the engagement period had closed which were included in the overall analysis of comments.

Where do people go and when?

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The majority of people visit local play spaces on a weekly basis (32%); 25% of people visit play spaces daily; 13% visit fortnightly and 12% visit monthly. The main reason for visiting is because it is convenient and/or close to their house. The second highest reason for visiting is children's play on the play equipment, followed by dog exercise.

The local level play spaces with the most pins overall across the City were Halliday Park, Houghton Reserve, Lower Hillcrest Reserve, Cloughton Reserve and Maylands Brickworks.

The suburbs with the highest number of pins were Bayswater and Maylands.

What do people like about their local play spaces?

Positive comments (either 'I enjoy this play space' or 'I have an idea' comments) tended towards:

- Higher level play spaces, i.e. Riverside Gardens (regional), Bert Wright (district);
- Play spaces that are surrounded by the natural environment/open space, i.e. Bardon Park and Maylands Foreshore;
- Co-located play spaces with a sporting reserve, i.e. Lower Hillcrest, Houghton.

The majority of 'Ideas' pins for regional and district play spaces related to increasing choice in activities and enhancing play experiences to:

- cater for different age groups and
- incorporate different elements such as nature play

What do people find challenging in their local play spaces?

The most common issues noted by respondents across all suburbs revolved around upgrading and renovating play to satisfy a greater age range of children, including toddlers and older children. Other themes included:

- Improving community and child safety in some areas by installing fencing, improving surveillance and upgrading parks infrastructure such as lighting and access;
- Providing shade over play areas.

Bayswater

Out of 98 pins, 77 of these were dropped by Bayswater residents. Most of the remainder were dropped by residents in neighbouring Embleton and Maylands.

The age group who dropped the highest number of pins was 36-45 years.

Pins were dropped at 2 regional, 1 district and 16 local play spaces.

Out of a total of 34 pins, the play spaces with the highest numbers of 'idea' pins were Riverside Gardens, Houghton and Lower Hillcrest Reserves. The most common themes from the 'idea' responses were:

- Renovate/improve play to incorporate and complement nature
- Increase choice in activities - pump/bike tracks, exercise equipment.

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Out of a total of 23 pins, the play spaces with the highest number of 'issue' pins were Bert Wright Park, Riverside Gardens and Halliday Park. The most common themes from the 'issue' responses were:

- Renovate/improve play for child safety and toddlers
- Improve community safety
- Dogs affecting usage in terms of dog faeces, lack of control of dogs around children's play areas
- Fences requested around play areas to ensure child safety in the vicinity of busy roads and water bodies

Bedford and Embleton

As the smallest geographical areas, these two suburbs were joined together to gain a more consistent result.

Out of 16 pins dropped, the majority were Bedford residents. The age group who dropped the highest number of pins was 36-45 years.

Pins were dropped at 2 district and 9 local play spaces

Out of a total of 9 pins, the play spaces with the highest number of 'enjoy' and 'idea' pins were Browns Lake, Alan Lehmann and Wotton Reserves. The most common themes from the 'enjoy' and 'ideas' responses were:

- Renovate play to incorporate nature and improve play experience

Out of a total of 7 pins, the play spaces with the highest number of 'issue' pins were Alan Lehmann, Birkett, Gummary, Remembrance, York, Brown and Wotton Reserves. The common themes from the 'issues' responses were:

- Improve community safety
- Renovate play area to incorporate shade.

Maylands

Maylands had the highest number of 'I enjoy this play space' pins out of all suburbs and the lowest number of 'ideas' pins and 'issues' pins comparatively.

Out of 51 pins dropped, the majority were Maylands residents with the remainder Bayswater residents. Pin droppers ranged in age from 26 to 55 years.

People in Maylands tend to visit their local parks on a daily basis, more so than weekly and fortnightly.

Pins were dropped at 10 district and 6 local play spaces

Out of a total of 7 pins, the common themes from the 'ideas' responses were:

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- Renovate play for broader age range of children, enhance natural elements and parks infrastructure

Out of a total of 8 pins, the play spaces with the highest number of 'issue' pins were The Rise, Shearn and Charles Reserve. The common themes from the 'issues' responses were:

- Improve community safety and renovate play areas.

Morley

Out of 24 pins dropped, the majority were by Morley residents, who also tend to visit play spaces on a daily basis, similar to Maylands residents. Pin droppers ranged in age from 26 to 45 years.

Pins were dropped at 3 district and 14 local play spaces.

Overwhelmingly, the themes from both 'ideas' and 'issues' responses were renovating play for toddlers and young children and enhancing the play experience, across all local play spaces. These themes are consistent with feedback received from residents at the community drop-in session held at Morley library.

Noranda

The park with the highest number of pins dropped was Robert Thompson Reserve (6 out of 16 pins). Pin droppers ranged in age from 26 to 55 years and the majority were Noranda residents, who tend to visit play spaces on a weekly basis.

Pins were dropped at 2 regional, 1 district and 6 local play spaces.

The common themes from the 'ideas' responses were:

- Play space renovation to incorporate nature play and improve the play experience,
- Parks infrastructure improvement including shade, seating and BBQs

The common themes from the 'issues' responses were:

- Enhance safety of children in play spaces in close proximity to a road.
- Improving community safety

Some example comments from 'I have an idea for this play space' pins:

'Lower Hillcrest would be an excellent candidate for a long narrow play space like Gary Blanch. With the tall shady gum trees and the native regeneration of Evans Place Reserve, we could create a unique bush play space for all ages that connects Coode Street, Evans Place and Drake St' (Bayswater)

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'This park (Donald Way Reserve) is heavily used by kids of all ages. many who live on the street and close by. My idea is to have it linked to other parks surrounding it as form of a 'progressive park play' where all the parks are somewhat linked, in theme etc. I know when my family and I (who consist of three young children) go on our weekend walks it's not uncommon for us to frequent a couple of parks along the way so having something that links them together like a sequence may be an entertaining idea? (Maylands)

Key findings

These findings are consistent with the first phase of engagement, the Have Your Say about Play survey, in which we asked the community to tell us about their favourite play spaces both in and outside of the City of Bayswater, in order to get an idea about the broad preferences around play. Responses in that phase demonstrated what people's expectations are for larger, higher level play spaces such as Riverside Gardens, Bardon Park and Bert Wright Park.

In this phase of engagement, through the mapping tool we were able to get more of an understanding of the community's expectations for local play spaces, the role that local play spaces have in residents' lives and how they use them.

Overall, people enjoy using their local play spaces (47%). Idea pins (28%) show trends away from traditional play equipment and more towards variety in age and play elements for all ages. It is evident that local spaces that are convenient to people's houses are highly valued and used for children's play, dog walking, community/social activities and exercise. There are unique differences between suburbs and communities which must be highlighted and valued in future planning and provision.

It is also evident that renovating play in local spaces to accommodate mainly younger children is a consistent theme in the community, particularly in Morley, along with provision of shade, improving community safety and incorporating nature in the play experience.

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Face-to-face engagement results

Drop-in sessions

Three drop-in sessions were held in the City's libraries to facilitate informal conversation with community members around their use of local play spaces; places they like and don't like, how they use them and their ideas for improvement. City staff also set up an information display and spoke with people at Noranda Shopping Village on a Saturday morning.

Participants commented on their usage of play spaces all across the City, not just in their suburb of residence; however most conversations about issues and ideas for improvement were largely based on local play spaces close to people's homes that they used relatively frequently.

Conversations revolved around common themes, including play space renovation and upgrade to accommodate a broader range of ages, ensuring safety of children around dogs, improving the quality of supporting infrastructure in parks and increasing the variety of activities for people other than children, such as adult exercise equipment.

Comments were grouped according to suburb and summarised as follows:

Morley

- Access to higher quality play experiences for young children, including facilities and supporting infrastructure for parents, preferably in central locations;
- Balancing out the provision of infrastructure across local play spaces for a more equitable spread of activities for young and older people.

Maylands

- Emphasis on cleaning up the natural environment around parks to improve people's recreation experiences;
- Providing more shade.

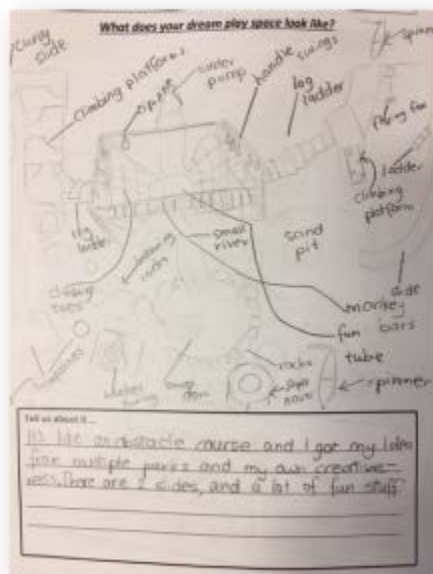
Bedford and Embleton

- Revamping play areas to incorporate more shade and enhance play experience;
- Improving community safety.

Noranda

- Improve provision of passive lighting and improved supporting parks infrastructure to enable use and enjoyment of local play spaces as community meeting places .

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Primary schools

Primary schools visited were Maylands Peninsula Primary, Noranda Primary and St Columba's. Students were aged between 8 and 12 years. Activities included 'Drawing your Dream Play Space' and a dotmocracy activity, wherein students indicated which play activities and spaces they liked the most and why. The results have been analysed and displayed in an infographic report.

For primary school aged children, the most popular play spaces across all age groups were nature-based; either specific nature play elements or play in the natural environment - bushland, river etc. Multi-courts were more popular with 11-12 year olds, whereas skate parks were more popular with 8-9 year olds.



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Play activities showed a clear trend towards adventure and challenge, namely climbing and building cubbies/exploring. Riding a scooter was more popular with older children, along with hanging out with friends. Swings and flying foxes continue to be popular with 8-10 year olds, more so than 11-12 year olds. Graphic representation of these results were published in a poster and available for public view on the Engage Bayswater page (shown at Attachment 1).

John Forrest Secondary College

A group of 7 prefects aged 12 to 14 years participated in group activities to indicate the spaces they like to go, how frequently and why, to give a picture of their motivations for visiting play spaces. The students identified a number of play spaces they used for walking dogs, hanging out with friends, enjoying nature and playing recreational sport. Issues they identified as important for their use included safety in design and planning of spaces, adequate bins, lighting, and healthy and clean green spaces.

The students were also asked how they would design play spaces that people of their age would like to go to. Their answers were insightful and imaginative, clearly demonstrating what is important to them, such as:

- The natural environment and surrounding landscape: recycling waste bins and re-used materials for play equipment; incorporating education and science into play areas
- Interesting and challenging play elements such as parkour, climbing walls and webs, rock walls and nature playgrounds
- Seating, murals, sculptures and art, themed play and colour for visual attraction and relief.

Youth Advisory Committee (YAC)

Members of the YAC had an informal conversation with City officers about their motivations for visiting play spaces; ideas for how to improve spaces and make them more attractive to young people. Two out of six members (aged between 16 and 22 years) used parks approximately once a week for recreation and/or exercise, committee members generally didn't feel that parks and play infrastructure provision catered for their needs.

Motivations for using play spaces revolved around socialisation and the natural environment. Parks infrastructure elements that were considered important for young people's usage of play spaces were water fountains, natural and artificial shade and seating. Balance in provision of play infrastructure with the natural environment was also important.

Ideas to stimulate activity and enjoyment of play spaces included adult 'play' elements, i.e. jungle gym, climbing equipment and ping pong; pop-ups, public art and installations; amphitheatre for events and technological infrastructure such as WiFi and solar charged power stations.

Community Access and Advisory Committee (CAIAC)

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As a representative committee comprising community members and Councillors, the CAIAC considers and makes recommendations on the implementation of the City's:

- Disability Access and Inclusion Plan (DAIP);
- Age Friendly Strategy;
- Other City plans and strategies with a focus on access and inclusion.

A session was held with the committee to get their feedback on the barriers to play spaces that are faced by the community, in terms of universal access and play opportunities. The committee identified barriers such as fencing design, footpath placement and lack of sensory assistance such as signage and lights.

Thoughtful planning and design of the space, parks infrastructure and play elements should all encourage universal access, variety in play, sense of place and socialisation, such as round tables with shade for sharing food and conversation, interesting park furniture and incorporating the City's logo in designs and public art. Funding of play spaces could include sponsorship and contributions from local businesses for park infrastructure. Compliance with the relevant standards for access and inclusion is an important factor for upgrades and future play space planning.

Key findings

Residents in the City of Bayswater value their play spaces highly, for a number of reasons, some are unique to where they live. It is imperative that the City takes into account the whole community when renovating current play spaces through the Playground Replacement Program and other design and upgrade works. Ensuring that residents have access to a range of different sizes and types of play spaces in their local area will be a key outcome of the Play Space Strategy.

People of all ages and abilities enjoy parks and play spaces across the City. Suitable and accessible parks infrastructure such as seating, picnic tables, bins, shade and public toilets (where applicable), are key to people's enjoyment and socialisation. The importance of designing in challenging elements for children of all ages should be balanced with safety. Play experiences should accommodate the needs of older people, young adults and people with disability where possible and appropriate to do so. Facilitating residents' sense of place and local ownership of their play spaces is paramount to the health and longevity of community connectedness.

Comments specific to play spaces have been noted and will form part of the 10 year Implementation Plan for further analysis in the annual Play Space Renovation Program.

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Phase 3

This phase involved releasing the draft summary of the Play Space Strategy to the community for feedback. A summary of the draft Play Space Strategy was approved by Council for public comment at the Ordinary Council meeting on 26 March 2019. The public comment period ran for one month commencing 1 April 2019.

The method used was a Submission Form to comment on the draft document, which was posted on Engage Bayswater and provided in hard copy at the Civic Centre and the City's outstations:

- Bayswater Waves
- Bayswater library
- Maylands library
- Morley library
- The RISE

No hard copy Submission Forms were received, however, 321 visits to the project page on Engage Bayswater were recorded; the draft summary document was downloaded 147 times and 16 online Submissions Forms were completed.

In addition, information signs were placed at Bardon Park, Bert Wright Park, Riverside Gardens and Robert Thompson Reserve to advise park users of the public comment period.

Submissions

Seven of the 16 submissions received were explicit in support of the strategy. Out of the total number of submissions, five highlighted issues in specific reserves; the remainder commented on the type of play they would like to see, improvements in park infrastructure and safety, or accessibility. Themes were generally aligned with those noted in previous engagement phases conducted to inform the strategy.

One submission referred to the use of the classification hierarchy to guide future planning decisions; stating that they hoped the application of the hierarchy would not reduce the level of current provision.

Comments are summarised below:

Submission #1	<ul style="list-style-type: none"> • Positive feedback on the strategy in general • Lack of toddler play spaces available across the City <p>Feedback specific to a reserve:</p> <ul style="list-style-type: none"> • Safety an issue in Ivory St Reserve, Noranda
Submission #2	<ul style="list-style-type: none"> • Positive feedback on the strategy in general • Activated play spaces as a result • Footpaths on every street leading to parks to ensure safety
Submission #3	<ul style="list-style-type: none"> • Positive feedback on the strategy in general
Submission #4	<ul style="list-style-type: none"> • Request more fenced parks to protect children from ball sports and dogs

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Submission #5	Feedback specific to a reserve <ul style="list-style-type: none"> Charles Reserve (number of issues listed)
Submission #6	<ul style="list-style-type: none"> Positive feedback on the strategy in general Supportive of shade, nature play and water play
Submission #7	<ul style="list-style-type: none"> Positive feedback on the strategy in general Fencing around play areas for safety of young children in dog areas Links to public toilets and access to food/beverage options would be handy for parents planning outings with kids (City website info)
Submission #8	<ul style="list-style-type: none"> Variety of spaces catering for family units in local areas
Submission #9	<ul style="list-style-type: none"> Positive feedback on the strategy in general Play is crucial to child development, open space for health and wellbeing – all ages Accessibility important – some parks to be designed for kids with mobility issues/disability
Submission #10	Feedback specific to a reserve <ul style="list-style-type: none"> Ruscoe Reserve – used by families, would benefit from nature play or multi-use courts
Submission #11	Submitted by the Cancer Council (Western Australia) <ul style="list-style-type: none"> Strongly supportive of strategy, particularly in the interests of providing shade in all parks and play spaces Recommendations for City policies relating to Public Open Space to include shade in all parks and future planning Recommendations for analysis, prioritising and installation of shade through the Play Space Strategy
Submission #12	<ul style="list-style-type: none"> Supportive of all play spaces having enough shade to cover play equipment The City must meet its duty of care in this regard
Submission #13	<ul style="list-style-type: none"> Current level of play equipment shouldn't drop More physical play infrastructure for older kids and community building eg basketball in Cockey Square
Submission #14	<ul style="list-style-type: none"> Desire for playgrounds with choice and stimulation for kids of all ages – active play, learning, sensory Shade, water fountains, fencing, rubber softfall for young kids Sand play, climbing and social play elements and activities
Submission #15	<ul style="list-style-type: none"> Natural shade preferred over shade sails – cooler, more resilient and less prone to vandalism Drink fountains with dog bowls Pathways continuous and logical Regional play elements should include nature play
Submission #16	<ul style="list-style-type: none"> More swings in play spaces Uplift the maintenance standard of Pocket parks eg North Way

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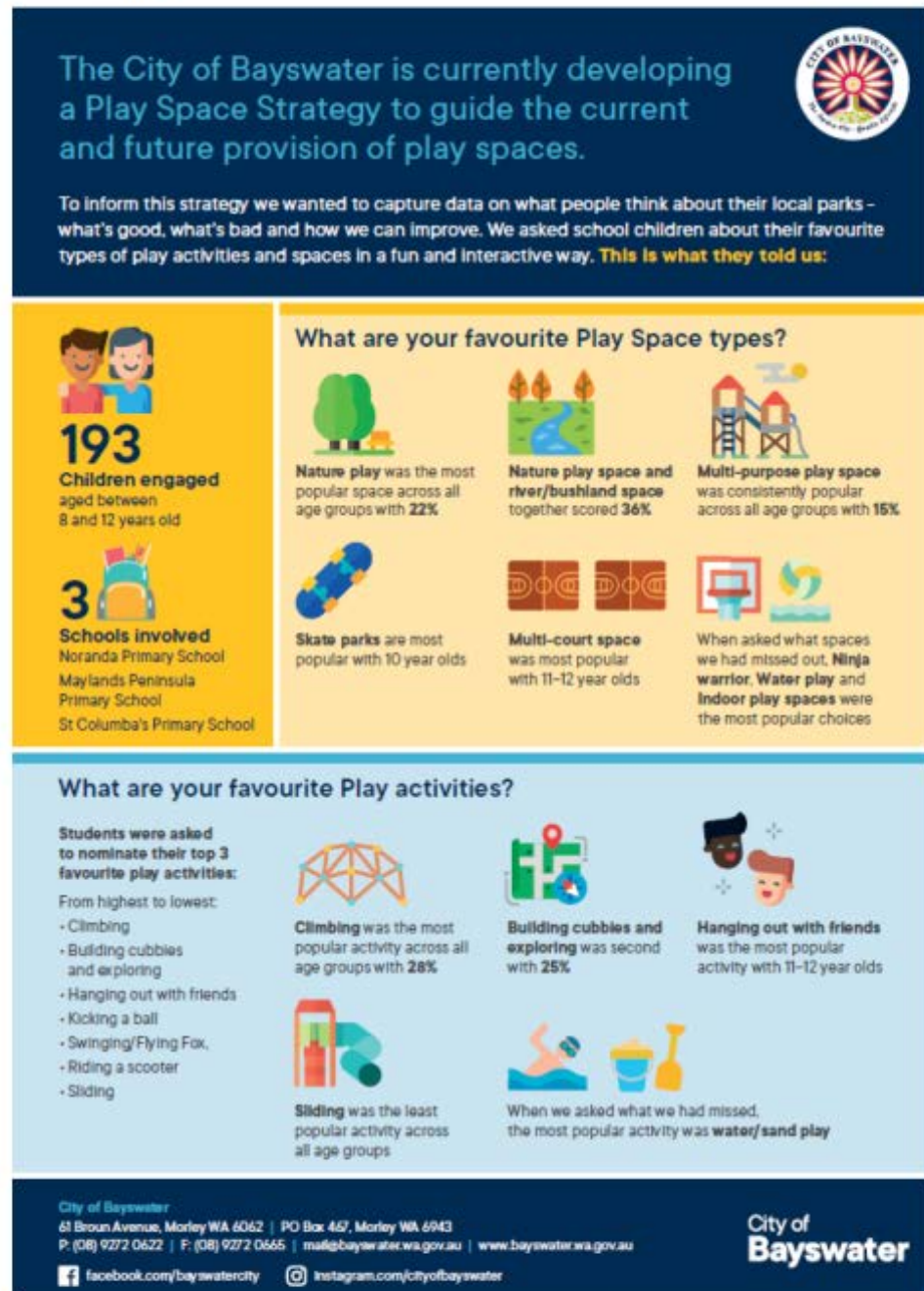
Comments did not refer to the Guiding Principles proposed, nor the process that the City went through to develop the strategy. The number of downloads of the draft summary (147) in comparison with the number of submission forms received (16) may indicate a general agreement and support of the draft Play Space Strategy.

Breakdown of the comments is as follows:

- Positive and directly supportive of the draft strategy (44%),
- Neutral, providing targeted feedback on specific issues (31%),
- Neutral, providing ideas for what they would like to see improved (assume as an outcome of the strategy) (19%), or
- Unsupportive of a potential outcome of the draft strategy (6%).

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Attachment 1



10.4 Community and Development Directorate Reports**10.4.1 Proposed Warehouse and Ancillary Office and Showroom - Lot 166, 11 Wicks Street, Bayswater**

Applicant/Proponent:	BUILTINK	
Owner:	Stoddart Karawatha Pty Ltd	
Responsible Branch:	Development Approvals	
Responsible Directorate:	Community and Development	
Authority/Discretion:	<input type="checkbox"/> Advocacy <input type="checkbox"/> Executive/Strategic <input type="checkbox"/> Legislative	<input type="checkbox"/> Review <input checked="" type="checkbox"/> Quasi-Judicial <input type="checkbox"/> Information Purposes
Voting Requirement:	Simple Majority Required	
Attachments:	1. Plans	

CR DAN BULL, MAYOR DECLARED AN IMPARTIAL INTEREST

In accordance with regulation 11 of the Local Government (Rules of Conduct) Regulations 2007, Cr Dan Bull, Mayor declared an impartial interest in this item as he received a gift of tickets to the applicant's industry event. The value is under the threshold. Cr Dan Bull, Mayor remained in the room during voting on this item.

SUMMARY

A planning application has been submitted for a warehouse and ancillary office and showroom at Lot 166, 11 Wicks Street, Bayswater. The subject lot is currently vacant and the proposal is considered to be compliant with the provisions of Special Control Area No.10 within the City of Bayswater Town Planning Scheme 24 (TPS 24).

The application is however being referred to Council for determination as the cost of the development is \$2,500,000 which is beyond the delegated authority limit of less than \$2 million (where the proposal is not a development assessment panel (DAP) application).

COUNCIL RESOLUTION**(OFFICER'S RECOMMENDATION)**

That Council approves the planning application dated 21 March 2019 and plans dated 17 June 2019 for a warehouse and ancillary office and showroom at Lot 166, 11 Wicks Street, Bayswater, subject to the following conditions:

1. The development shall be carried out only in accordance with the terms of the application as approved herein, and any approved plan.
2. The owner, or the applicant on behalf of the owner, shall comply with the City of Bayswater policy relating to Percent for Public Art, and provide public art with a minimum value of 1% (\$25,000) of the estimated total construction cost of the development. Details of the public art, including plans of the artwork, its cost and construction, and other matters relating to the artwork's on-going maintenance and acknowledgements in accordance with the City's Percent for Public Art Policy shall be submitted to and approved by the City prior to the lodgement of a building permit application.

Alternatively, the owner/applicant could choose a cash-in-lieu option. The cash in lieu amount is to be no less than 1% of the estimated total construction cost of the development and is to be paid to the City prior to the submission of a building permit application in accordance with the City's Percent for Public Art Policy. If the applicant chooses this option then detailed plans for the installation of the artwork will not be required.

3. A facility with a minimum of six bicycle parking bays, protected from the weather, and containing bicycle parking devices that allow users to lock the bicycles frame and both wheels, shall be provided to the satisfaction of the City of Bayswater.
4. End of trip facility at the rate of one male and one female shower in separate change rooms, shall be provided to the satisfaction of the City of Bayswater.
5. A detailed landscape plan shall be submitted to and approved by the City of Bayswater, prior to the submission of a building permit application. For the purpose of this condition, the plan shall be drawn with a view to reduce large areas of hard stand in passive areas and show the following:
 - (a) A minimum of one shade tree for each four car bays being provided to punctuate the on-site car bays.
 - (b) In addition to the trees required under (a), a minimum of four trees being provided within the landscaping strip along the street boundary and the trees shall be minimum 50L pot size and not irrigated.
 - (c) The size and number of new plants to be planted.
 - (d) Areas not used for car parking are to be treated with gravel or an alternative impermeable hard or paved surface.

Landscaping shall be completed in accordance with the approved detailed landscape plan prior to occupation of the development and maintained to the satisfaction of the City of Bayswater.

6. A construction management plan, detailing how the construction of the development will be managed to minimise the impact on the surrounding area, shall be submitted to and approved by the City of Bayswater, prior to the submission of a building permit application.
7. An acoustic report (including a noise prediction model) prepared by a suitably qualified acoustic engineer to ascertain the impact of the development has on the surrounding premises (noise sensitive/commercial/industrial premises) located within a 500m radius of the subject site shall be submitted to and approved by the City of Bayswater prior to the submission of a building permit application, and the recommendations of the report are to be implemented to the satisfaction of the City.
8. A suitably ventilated and screened refuse bulk bin area of an adequate size shall be provided to the satisfaction of the City of Bayswater. The bin area is to be provided with a permanent water supply and drainage facility for wash-down and is to be screened by a gate and brick walls or other suitable material to a height of not less than 1.8m. The bin area shall be accessible via a suitably constructed service road that will allow heavy vehicle movement.

The bin store shall be constructed in complementary materials, colours and design with the building to the satisfaction of the City. Details shall be submitted to and approved by the City, prior to the submission of a building permit application.
9. The vehicle parking area shall be constructed in asphalt, concrete or brick paving, drained, kerbed and line-marked, together with suitable directional signs, and thereafter maintained to the satisfaction of the City of Bayswater.
10. The approved parapet/boundary wall(s) and footings abutting the lot boundaries must be constructed wholly within the subject allotment. The external surface of the parapet/boundary wall(s) shall be finished to a professional standard, to the satisfaction of the City of Bayswater.
11. Any proposed vehicular entry gates shall be a minimum 50% visually permeable, and shall be open at all times during operation of the development.

-
12. Any proposed fencing forward of the main building line shall not include barbed wire or any other potentially harmful projection or material, to the satisfaction of the City of Bayswater.
 13. The use of reflective or obscure glazing is not permitted on ground floor windows and/or openings facing Wicks Street.
 14. All external fixtures, such as television antennas (of a non-standard type), radio and other antennas, satellite dishes, external hot water heaters, air conditioners, and the like, shall not be visible from the street, or designed integrally with the building and be located so as not to be visually obtrusive from the street.
 15. Prior to the submission of a building permit application, detailed drainage plans demonstrating compliance with the Tonkin Highway Industrial Estate requirements shall be submitted to and approved by the City of Bayswater. The drainage plan is to be implemented in its entirety and maintained thereafter to the satisfaction of the City of Bayswater.
 16. Prior to the submission of a building permit, the applicant shall submit a relocation plan and maintenance schedule prepared by a suitably qualified arborist or horticulturalist for the relocation of the two street verge trees on the Wicks Street verge, affected by the two new crossovers. The relocation plan and maintenance schedule shall be approved and implemented thereafter to the satisfaction of the City of Bayswater. Prior to the submission of a building permit application, the owner/applicant is to provide the City with a bond for the amount of \$1,000 which will cover the cost of two replacement trees in the event that the relocated trees on the Wicks Street verge do not survive. The bond will be refunded if the trees survive after 24 months.
 17. The three street trees not proposed to be removed as indicated on the approved plans, are to be retained, unless written approval has been granted by the City of Bayswater for their removal, and shall have measures consistent with AS 4970-2009 undertaken to ensure its/their protection during construction of the subject development to the satisfaction of the City, including but not limited to the following:
 - (a) A minimum 2.0m radius tree protection zone (TPZ) shall be provided through 1.8m high fencing around the verge trees (chain mesh panels or other suitable material) during construction of the subject development.
 - (b) The above fencing is not to be moved or removed at any period during construction, and this zone is not to be entered for any reason; signage notifying people of the TPZ and the associated requirements is to be placed on each side of the fencing.
 - (c) All activities related to construction of the subject development, including parking of vehicles, storage of materials, and washing of concreting tools and equipment is prohibited within the designated TPZ.
 - (d) Any roots identified to be pruned shall be pruned with a final cut to undamaged wood outside of the TPZ. Pruning cuts shall be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds shall not be treated with dressings or paints. It is not acceptable for roots to be 'pruned' with machinery such as backhoes or excavators.
 - (e) The tree(s) shall be provided with supplemental water during any construction period falling over summer, with a minimum of 150 litres being provided per week.
 - (f) Should any works be required to be undertaken within the TPZ, approval must be given by the City prior to entering this zone. You may be required to seek
-

advice from an Arborist in regard to the type of works being undertaken, this information is to be assessed by the City as part of the approvals to enter.

- (g) Any new crossover shall maintain a minimum clearance of 2.0m from the base of a street tree(s).
18. On completion of construction, all excess articles, equipment, rubbish and materials being removed from the site and the site left in an orderly and tidy condition, to the satisfaction of the City of Bayswater.
 19. No vehicle shall be permitted onto the Tonkin Highway reserve.
 20. No development shall encroach or overhang into the Tonkin Highway reserve, including footings.
 21. No earthworks shall encroach onto the Tonkin Highway reserve.
 22. No stormwater drainage shall be discharged onto the Tonkin Highway reserve.
 23. The ground levels on the Tonkin Highway boundary are to be maintained as existing.
 24. The applicant shall make good any damage to the existing verge, paths or vegetation within the Tonkin Highway reservation.
 25. Anti-graffiti coating is to be applied to wall face adjoining Tonkin Highway reserve to Main Roads WA Specifications 908.
 26. The applicant must obtain approval from Main Roads before any works are undertaken within the Tonkin Highway reserve. The applicant seeking access to the Main Roads network will be required to submit an Application as outlined in the "Application Kit and Guidelines" for State Roads.

Advice Notes:

1. To activate the planning approval, the development/use subject of this approval must be substantially commenced within a period of two years of the date of this approval notice. If the development is not substantially commenced within this period, this approval shall lapse and be of no further effect. Where an approval has lapsed, no development/use shall be carried out without the further approval of the City having first been sought and obtained.
2. This approval is not a building permit or an approval under any law other than the *Planning and Development Act 2005*. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
3. All vehicle crossovers being designed and constructed to the satisfaction of the City of Bayswater.
4. Kerbs, roadways, footpaths, open drains, stormwater pits, service authority pits and verge areas including any verge trees must be adequately protected, maintained and reinstated if required, during and as a result of carting and all works associated with this development.
5. This approval is not an authority to ignore any constraint to development on the land, which may exist through contract or on title, such as but not limited to an easement or restrictive covenant. It is the responsibility of the applicant/owner to investigate any such constraints before commencing development.
6. This approval does not authorise any interference with dividing fences, nor entry onto neighbouring land. Accordingly, should you wish to remove or replace any portion of a dividing fence, or enter onto neighbouring land, you must first come to a satisfactory arrangement with the adjoining property owner. Please refer to the *Dividing Fences Act 1961*.

7. In regard to Condition 15, localised stormwater disposal via soakage shall not occur and soakwells are not permitted.
8. The applicant is to make arrangements to the satisfaction of the Water Corporation for the provision of reticulated sewerage to all lots/units within the subdivision/development.
9. The development/use hereby permitted shall comply with the *Environmental Protection Act 1986*, the *Health Act 1911* and any relevant environmental protection or health regulations, including but not limited to the following:
 - *Environmental Protection Act 1986;*
 - *Health (Miscellaneous Provisions) Act 1911;*
 - *Food Act 2008 and the Australian;* and
 - *Health (Air Handling and Water Systems) Regulations 1994.=*
10. Development of the site is required to be managed in accordance with the provisions outlined in the contaminated sites auditor-approved site management plan entitled 'Tonkin Highway Industrial Estate, Area 3 – Site Management Plan' (Strategen Environmental, March 2018). Please be aware that due to the presence of soil and groundwater contamination, stormwater disposal via ground infiltration (such as soak wells) is not permitted. Stormwater is to be disposed via the reticulated stormwater connection provided.

CR CATHERINE EHRHARDT MOVED, CR FILOMENA PIFFARETTI SECONDED

CARRIED UNANIMOUSLY: 8/0

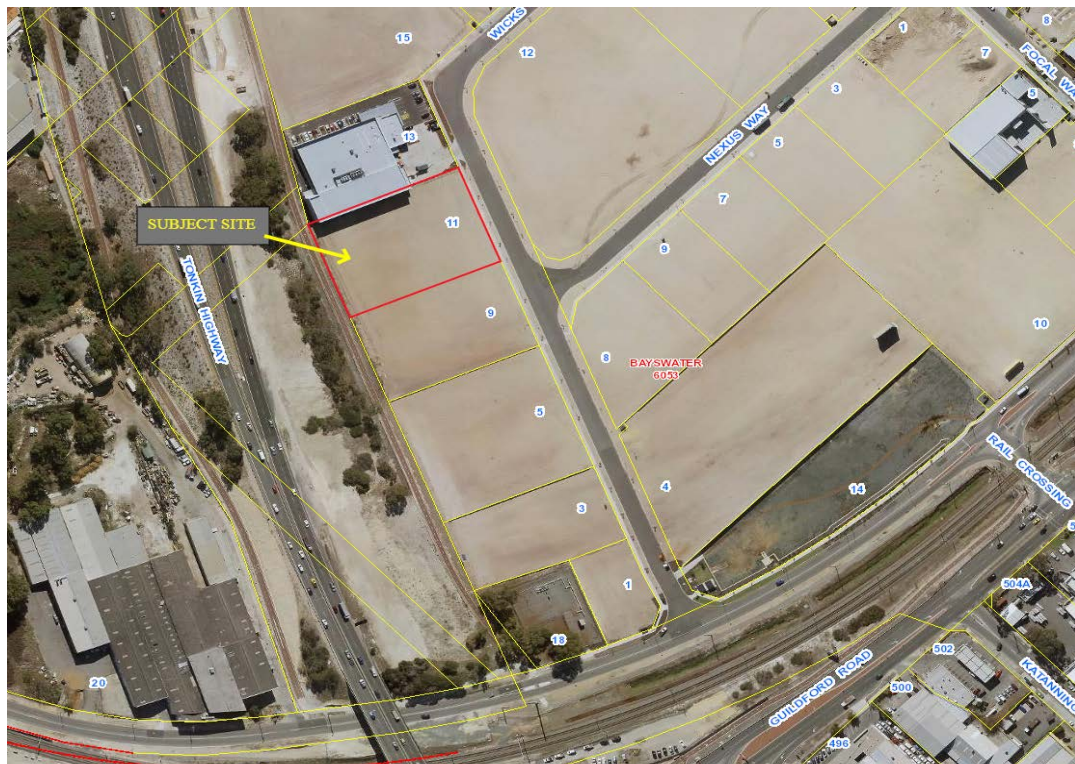
At 7:21pm, Cr Elli Petersen-Pik returned to the meeting.

BACKGROUND

Application Number:	DA19-0143
Address:	Lot 166, 11 Wicks Street, Bayswater
Town Planning Scheme Zoning:	General Industry- Special Control Area 10
Use Class:	Warehouse - 'P'
Existing Land Use:	Vacant
Surrounding Land Use:	General Industry, Warehouse and Vacant Lots
Proposed Development:	Proposed Warehouse and Ancillary Office and Showroom

The applicant is proposing to construct a warehouse for storage and distribution of commercial foodservice equipment, an office and administration area and a product display and demonstration cooking area. The applicant has advised that the main use proposed by the development is warehouse and distribution of products. The office component is ancillary and is for administration staff associated with distribution. On occasions, when there is new stock to showcase, clients will be invited to view products. Accordingly, the showroom component of the development is considered to be ancillary to the main warehouse.

The application is being referred to Council for determination as the cost of the development is \$2,500,000 which is beyond the delegated authority limit of less than \$2 million (where the proposal is not a DAP application).





EXTERNAL CONSULTATION

The City sought comment from the Department of Water and Environmental Regulation (DWER) in relation to the development being located within the Tonkin Highway Industrial Estate which is subject to the *Contaminated Sites Act 2003* due to the former use of the site by Cresco for fertilizer manufacturing. Comments and advice received from DWER have been incorporated onto the recommended conditions of approval.

Further, the City sought comments from Main Roads WA (MRWA) given the land abuts Tonkin Highway, a Category 3 Primary Regional Road. Recommended conditions received from MRWA have been incorporated onto the recommended conditions of approval.

OFFICER'S COMMENTS

Key Scheme Provisions	Required	Provided	Assessment
Minimum Setbacks:			
Front	3m	21.7m	Compliant
Side (North)	Nil	Nil	Compliant
Side (South)	Nil	Nil	Compliant
Rear	Nil	Nil	Compliant
Maximum Building Height	3 storeys	1 storey	Compliant
Landscaping	Minimum 5% of the total lot area including a 2m wide landscaping strip along the street frontage.	5.3% of the lot is proposed to be landscaped including a 2m wide landscaping strip along the street frontage.	Compliant

Fencing	One tree shall be planted every 15m of lot frontage within the landscaping strip.	Not detailed on plans.	Conditioned
	Trees are to be planted within uncovered car parking areas at the rate of 1 per 4 car parking spaces.	16 trees	Conditioned
	Fencing located on the front lot boundary is to be black powder coated Garrison or Palisade fencing to a maximum height of 1.8m	1.8m garrison fence	Compliant
	Fencing located behind the front boundary (side and rear fencing) is to have a minimum standard of 1800mm rail-less chain link or steel mesh incorporating black coloured PVC coating with black gates, posts and fittings.	1.8m high linkmesh fence behind building line. The fence and gates are powdercoat black.	Compliant
	Barbed wire must not be installed forward of the building line.	1.8m high linkmesh fence with 3 rows barbed wire fence is behind the building line.	Compliant
Built Form	The buildings shall be designed to address the street, providing a well-articulated administration/office area at the front of the main building which will contribute to the streetscape.	The office area projects forward of the main building. The entrance and office area have been articulated by large awnings, featured vertical fins, colour scheme and large windows.	Compliant
	The main entrance is to be on the front elevation or close to the front of the building, being clearly visible from the street.	The main entrance is clearly visible from the street.	Compliant
	The primary street facade shall avoid large	The front façade has been	Compliant

	unbroken expanses of wall.	articulated by large awnings, featured vertical fins, colour scheme and large windows.	
	Building frontages are to be designed to promote surveillance of the street and/or public open space.	The office contains large windows that overlook the street.	Compliant
Minimum Parking	40 car bays	47 car bays	Compliant

Appropriateness of Use

The proposal is considered to activate the currently vacant land and contribute to the emerging industrial and commercial character of the Tonkin Highway Industrial Estate which is intended to be a quality estate providing a high level of amenity whilst achieving well designed, functional and efficient buildings.

Further, the main use (warehouse) is a permitted use for the subject Precinct C of the Tonkin Highway Industrial Estate under the provisions of the City's TPS 24, and therefore, the use is considered appropriate for the area.

Street Trees

The proposed development includes two crossovers which impacts two of the existing five street verge trees adjacent to the property. These affected street trees are considered to be immature with of height of approximately 3m and of a '*Angophora Costata*' specie. Given the number age and specie of the street trees on the verge, it is considered that a reasonable option to providing the access to the development is to relocate two of the street verge trees. The City's consulting Arborist has advised that the trees should be relocated within the verge area. The applicant would accordingly be responsible for engaging an arborist to relocate the two trees and ensure their survival for two years following the relocation. Should either of the trees die within that period, the applicant will be responsible for their replacement with a tree of the same species and of a minimum size of 100 litre bag. A bond will be conditioned to satisfy this requirement.

Other Planning Matters

The Tonkin Highway Industrial Estate is subject to the *Contaminated Sites Act 2003* due to the former use of the site by Cresco for fertilizer manufacturing. As a result Precinct C, which the subject lot is located within, has special requirements for landscaping and drainage as reticulation, groundwater extraction and disturbance of soils is not permitted. As a result landscaping is restricted to non-irrigated trees only and areas not used for car parking are to be treated with gravel or an alternative impermeable hard or paved surface.

LEGISLATIVE COMPLIANCE

- City of Bayswater Town Planning Scheme No.24 and local planning policies; and
- *Planning and Development Local Planning Schemes) Regulations 2015.*

OPTIONS

The following options are available to Council:

1. Council approves the development application in accordance with the Officer's Recommendation. The risks associated with this option is considered to be reduced due to the reasons given for the Officer's Recommendation.
2. Council approves the development application subject to deleted or alternate condition(s). The risks associated with this option is considered dependent on the reasons given for the deleted/alternate condition(s) and the nature of the deleted/alternate condition(s).
3. Council refuses the development application. The risks associated with this option is considered dependent on the reasons given for the application to be refused.

FINANCIAL IMPLICATIONS

Nil.

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme:	Our Built Environment
Aspiration:	A quality and connected built environment.
Outcome B1:	Appealing streetscapes.
Outcome B3:	Quality built environment.

The proposed development will assist in providing a quality built environment by activating a currently vacant lot and facilitating the further development of the Tonkin Highway Industrial Estate.

CONCLUSION

In light of the above, the application is recommended for approval subject to appropriate conditions.

Attachment 1



DRAWING SCHEDULE

PAGE NO.	DRAWING NAME
01	COVER PAGE & COLOUR SCHEDULE
02	COVER PAGE
03	SURVEY PLAN
04	SITE PLAN
05	LANDSCAPING PLAN
06	GROUND FLOOR PLAN
07	MEZZANINE FLOOR PLAN
08	ROOM LAYOUTS
09	ELEVATIONS - PART 1
10	ELEVATIONS & SECTIONS
11	SECTIONS
12	PERSPECTIVES
13	DETAILS 1
14	DETAILS 2
15	DETAILS 3
16	HANDRAIL DETAILS
17	ROOF PLAN
18	CEILING PLAN
19	DOOR SCHEDULE
20	WINDOW SCHEDULE

COLOUR & FINISHES SCHEDULE

WALLS - OFFICE	- MAIN BUILDING	- TEXTURE COAT - DULUX - TO MATCH SHALE GREY
	- ULTRABOND WINDOW SURROUNDS	- ULTRABOND SPARKLING DARK GREY (COLOUR 'D')
	- ENTRY CANOPY	- ULTRABOND PEARL WHITE GLOSS (COLOUR 'A')
- WAREHOUSE	- FEATURE VERTICAL FINS	- ULTRABOND PEARL WHITE GLOSS & (COLOUR 'A') COPPER METALIC INSERT (COLOUR 'B')
	- LOWER HALF	- TEXTURE COAT - DULUX SHALE GREY
	- UPPER HALF	- TEXTURE COAT - DULUX BASALT
- PUMP ROOM	-	- TEXTURE COAT - DULUX - TO MATCH SHALE GREY
ROLLER DOORS	-	- COLORBOND BASALT
EXTERNAL PA DOORS	- ENDURO DOORS	- POWDERCOAT - DULUX SHALE GREY
FLASHINGS & CAPPIINGS	- OFFICE	- COLORBOND - SHALE GREY
	- WAREHOUSE	- COLORBOND BASALT
DOWNPIPES	- WAREHOUSE	- COLORBOND BASALT
BIN STORE	- METAL SHEETING	- SPANDECK COLORBOND SHALE GREY
BOLLARDS	- METAL	- PAINTED - DULUX BASALT(COLORBOND COLOUR)
FENCING	- GARRISON - LINKMESH	- POWDERCOAT BLACK - BLACK
SLIDING GATES	- GARRISON	- POWDERCOAT BLACK
WASHED AGGREGATE	- HANSON	- LAKELANDS
ROOF SHEETING	- MAIN WAREHOUSE	- ZINCALUME
	- OFFICE	- ZINCALUME
	- WAREHOUSE CANOPIES	- ZINCALUME
SOFRIT LININGS	- WAREHOUSE CANOPY (REAR) TRIMDECK	- NATURAL GREY COLOUR OF SHEETING
	- RAFTERS & PURLINS	- NATURAL GALVANISED
- OFFICE ENTRY AREA	- ULTRABOND	- ULTRABOND PEARL WHITE GLOSS (COLOUR 'A')
	-	-
ALUM. WINDOWS & DOORS	-	- POWDERCOAT - DULUX STEEL PEARL
GLAZING	- U-VALUE = 0.7 - SHGC = 0.70	- SUPER GREY GLASS
VERTICAL ALUMINIUM BATTENS 150X50	- POWDERCOAT	- DULUX COPPER PEARL (COLOUR 'C')

INTERNAL COLOUR & FINISHES SCHEDULE

WALLS - OFFICE	- MAIN BUILDING	- DULUX GHOSTING QUARTER
DOORS & FRAMES	- OFFICE/AMENITIES	- PAINT LEXICON QUARTER
CARPET	- CLASSIC FLOORING	- CHINO - SLATE
FLOORING	- POLISHED CONCRETE	- HANSON (COLOUR T.B.C.)
	- VINYL WITH COVED SKIRTING	- - (COLOUR T.B.C.)
KITCHEN CUPBOARD FRONTS	- FORMICA	- MOCHA FIRWOOD
OVERHEAD CUPBOARDS & FRIDGE UPSTAND	- FORMICA	- IRON ORE
KITCHEN TOPS	- ESSA STONE	- PURE CLOUD - GLOSS
ABLUTION & KITCHEN FLOOR TILES	- 600X300	- MONZA GREY
ABLUTION WALL TILES	- 600X300	- GLOSS WHITE

REFER TO DRAWING 12 FOR FURTHER CLARITY ON EXTERNAL COLOURS

NOTE:

- THIS SHEET TO BE READ IN CONJUNCTION WITH SHEET NUMBER 2.
- ALL SPECIFICATIONS & STANDARDS TO BE ADHERED TO AS OUTLINED ON DRAWINGS.

GENERAL NOTES:

- ALL EXTERIOR FACING WALLS, SPILLWAYS, AND IF EXISTING, DOWNSPILLS MUST BE COLOURED TO MATCH THE EXISTING SURROUNDING ENVIRONMENT.
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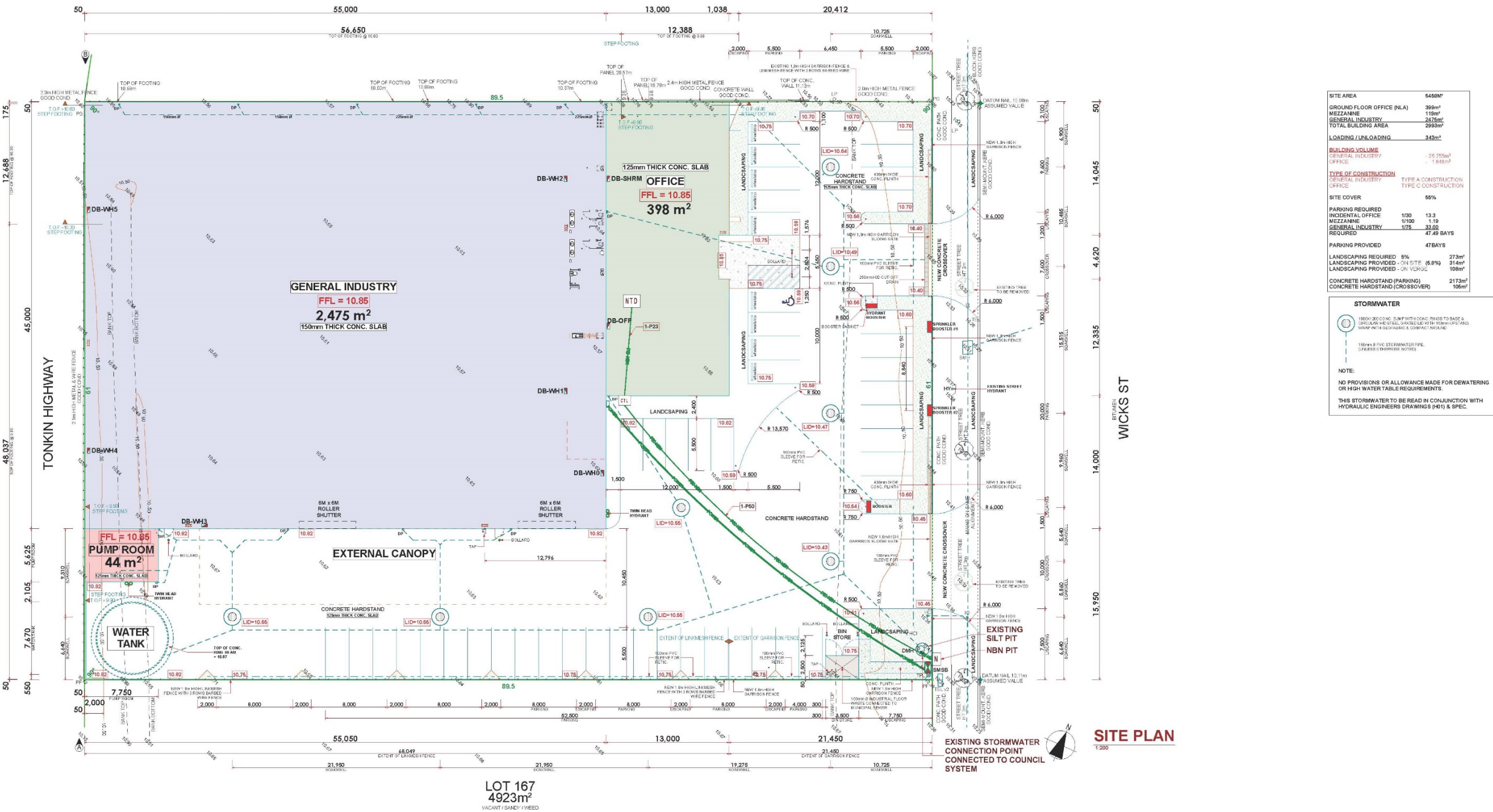
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www.builtink.com

DESIGNER OF THE PROJECT
BUILDING DESIGNERS OF WESTERN AUSTRALIA

CLIENT	CONCEPT
PROJECT	LOT 156, (# 11) WICKS STREET, BAYSWATER
DWG TITLE	COVER PAGE
DRAWN	EDB
CHECKED	ATLS
DATE	19.002
REVISION	C
NO. 1	

ISSUED FOR TENDER



SITE AREA	5450m²
GROUND FLOOR OFFICE (NLA)	398m²
MEZZANINE	119m²
GENERAL INDUSTRY	2475m²
TOTAL BUILDING AREA	2993m²
LOADING / UNLOADING	345m²
BUILDING VOLUME	
GENERAL INDUSTRY	~25,755m³
OFFICE	~1,640m³
TYPE OF CONSTRUCTION	
GENERAL INDUSTRY	TYPE A CONSTRUCTION
OFFICE	TYPE C CONSTRUCTION
SITE COVER	50%
PARKING REQUIRED	
INCIDENTAL OFFICE	1/30 133
MEZZANINE	1/100 119
GENERAL INDUSTRY	1/75 33.80
REQUIRED	47.49 BAYS
PARKING PROVIDED	47BAYS
LANDSCAPING REQUIRED 5%	273m²
LANDSCAPING PROVIDED - ON SITE (6.9%)	314m²
LANDSCAPING PROVIDED - ON VORSE	106m²
CONCRETE HARDSTAND (PARKING)	2173m²
CONCRETE HARDSTAND (CROSSOVER)	106m²

STORMWATER

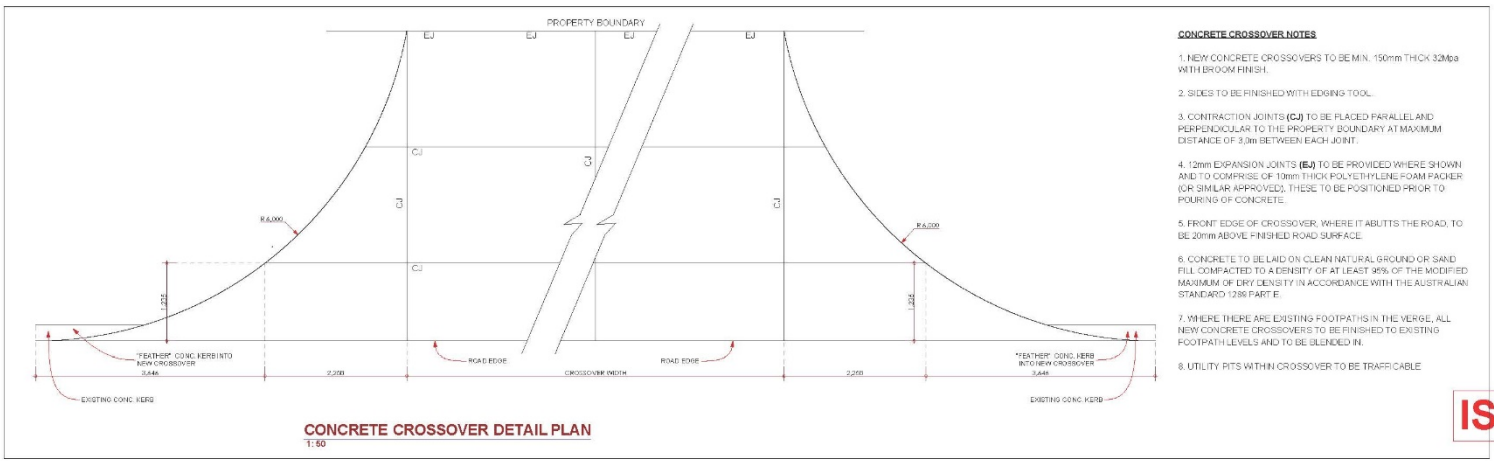
1. NEW 150mm DIA. CONCRETE CULVERTS TO BE BASED ON A 100mm DIA. CONCRETE CULVERT. (SEE SPEC. FOR DETAILS)

2. 150mm DIA. CONCRETE CULVERTS TO BE BASED ON A 100mm DIA. CONCRETE CULVERT. (SEE SPEC. FOR DETAILS)

NOTE:

NO PROVISIONS OR ALLOWANCE MADE FOR DEWATERING OR HIGH WATER TABLE REQUIREMENTS.

THIS STORMWATER TO BE READ IN CONJUNCTION WITH HYDRAULIC ENGINEERS DRAWINGS (P01) & SPEC.



ISSUED FOR TENDER

CONCRETE CROSSOVER NOTES

1. NEW CONCRETE CROSSOVERS TO BE MIN. 150mm THICK 32MPa WITH BROOM FINISH.
2. SIDES TO BE FINISHED WITH EDGING TOOL.
3. CONTRACTION JOINTS (CJ) TO BE PLACED PARALLEL AND PERPENDICULAR TO THE PROPERTY BOUNDARY AT MAXIMUM DISTANCE OF 3.0m BETWEEN EACH JOINT.
4. 12mm EXPANSION JOINTS (EJ) TO BE PROVIDED WHERE SHOWN AND TO COMPRISE OF 10mm THICK POLYETHYLENE FOAM PACHER (OR SIMILAR APPROVED). THESE TO BE POSITIONED PRIOR TO POURING OF CONCRETE.
5. FRONT EDGE OF CROSSOVER, WHERE IT ABUTS THE ROAD, TO BE 20mm ABOVE FINISHED ROAD SURFACE.
6. CONCRETE TO BE LAID ON CLEAN NATURAL GROUND OR SAND FILL COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED MAXIMUM OF DRY DENSITY IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1288 PART 1.
7. WHERE THERE ARE EXISTING FOOTPATHS IN THE VORSE, ALL NEW CONCRETE CROSSOVERS TO BE FINISHED TO EXISTING FOOTPATH LEVELS AND TO BE BLENDED IN.
8. UTILITY PITS WITHIN CROSSOVER TO BE TRAFFICABLE.

GENERAL NOTES:

1. ALL CONTRACTORS DRAWINGS SPECIFIC ARCHITECTURAL DRAWINGS MUST BE IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL DRAWINGS, IN PARTICULAR, FLOOR PLANS, SECTION PLANS, SECTION ELEVATIONS & DETAILS.
2. ALL WORKS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 2011 AND THE BUILDING REGULATIONS 2012.
3. ALL LEVELS, DIMENSIONS, POSITIONS & HEIGHTS TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS.
4. IF ANY DISCREPANCIES ARE TO BE TACKLED, NO WORKING OF DRAWINGS IS ALLOWED.
5. REFER TO ENGINEER'S DRAWINGS FOR ALL STRUCTURAL WORKS.
6. LARGER SCALE DRAWINGS WILL SUPERSEDE SMALL SCALE DRAWINGS.

CLIENT CONCEPT

PROJECT LOT 166, (# 11) WICKS STREET, BAYSWATER

DWG TITLE SITE PLAN

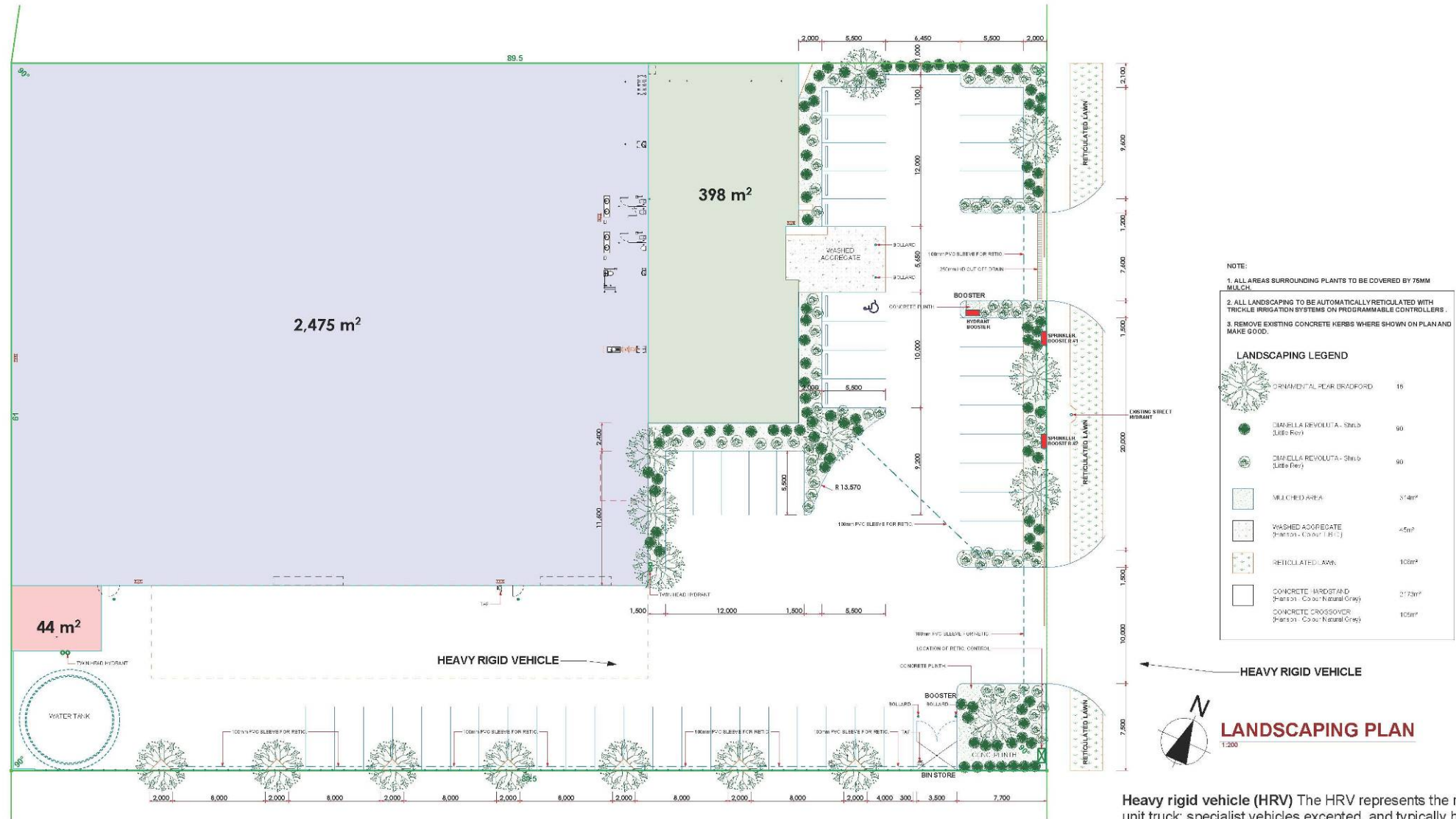
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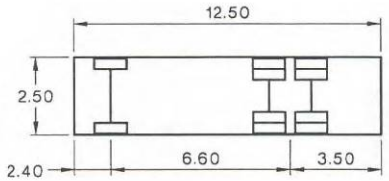
MEMBER OF THE BAYWA BUILDING DESIGNERS OF WESTERN AUSTRALIA

REV	DESCRIPTION	BY	DATE
C	ISSUED FOR TENDER	E.B.	11/06/19
D	ISSUED FOR APPROVAL	E.B.	29/06/19
A	CONCEPT SKETCH	E.B.	01/07/19

BRN	ED	SL	AT	LS	REVISION	C
01/07/19	01/07/19	01/07/19	01/07/19	01/07/19	19.002	4

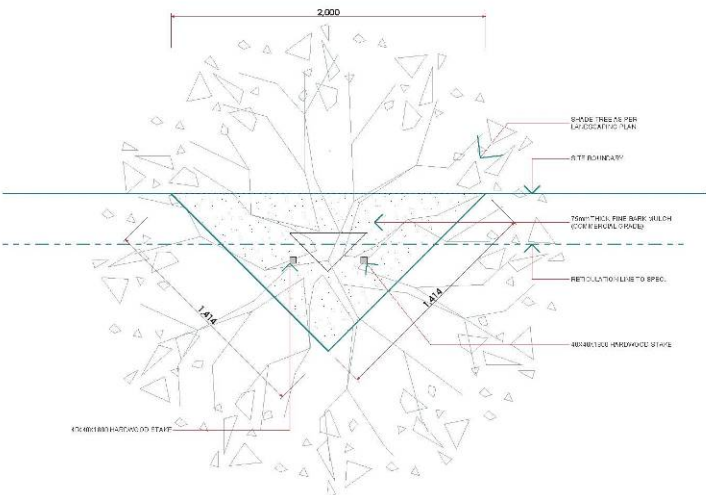


Heavy rigid vehicle (HRV) The HRV represents the maximum dimensions of a single unit truck; specialist vehicles excepted, and typically has a load capacity of 12t. The class also includes 4-axle twin steer vehicles with a typical load capacity of 16t. Typically this design would normally be provided for in major suburban delivery areas.

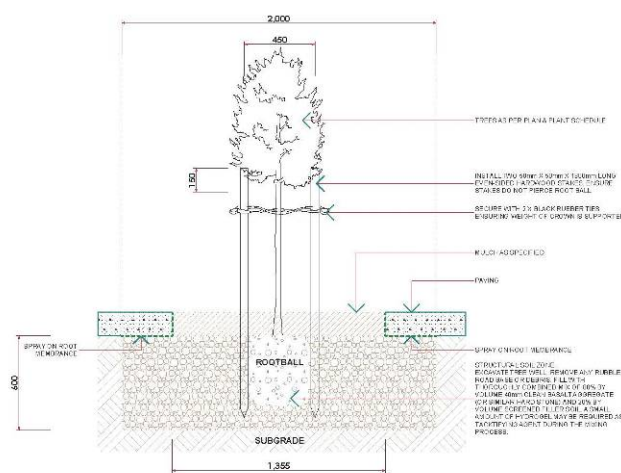


(c) Heavy rigid vehicle
Clearance height 4.50
Design turning radius 12.5

- GENERAL NOTES:
1. ALL EXISTING DIMENSIONS SHOWN ON THIS PLAN ARE TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
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 7. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED.



TREE WELL DETAIL
1: 20



INDICATIVE TREE PLANTING DETAIL IN PAVED AREA
1: 20

ISSUED FOR TENDER

BUILT ink

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Embleton, WA 6062 • PH 9578 3088
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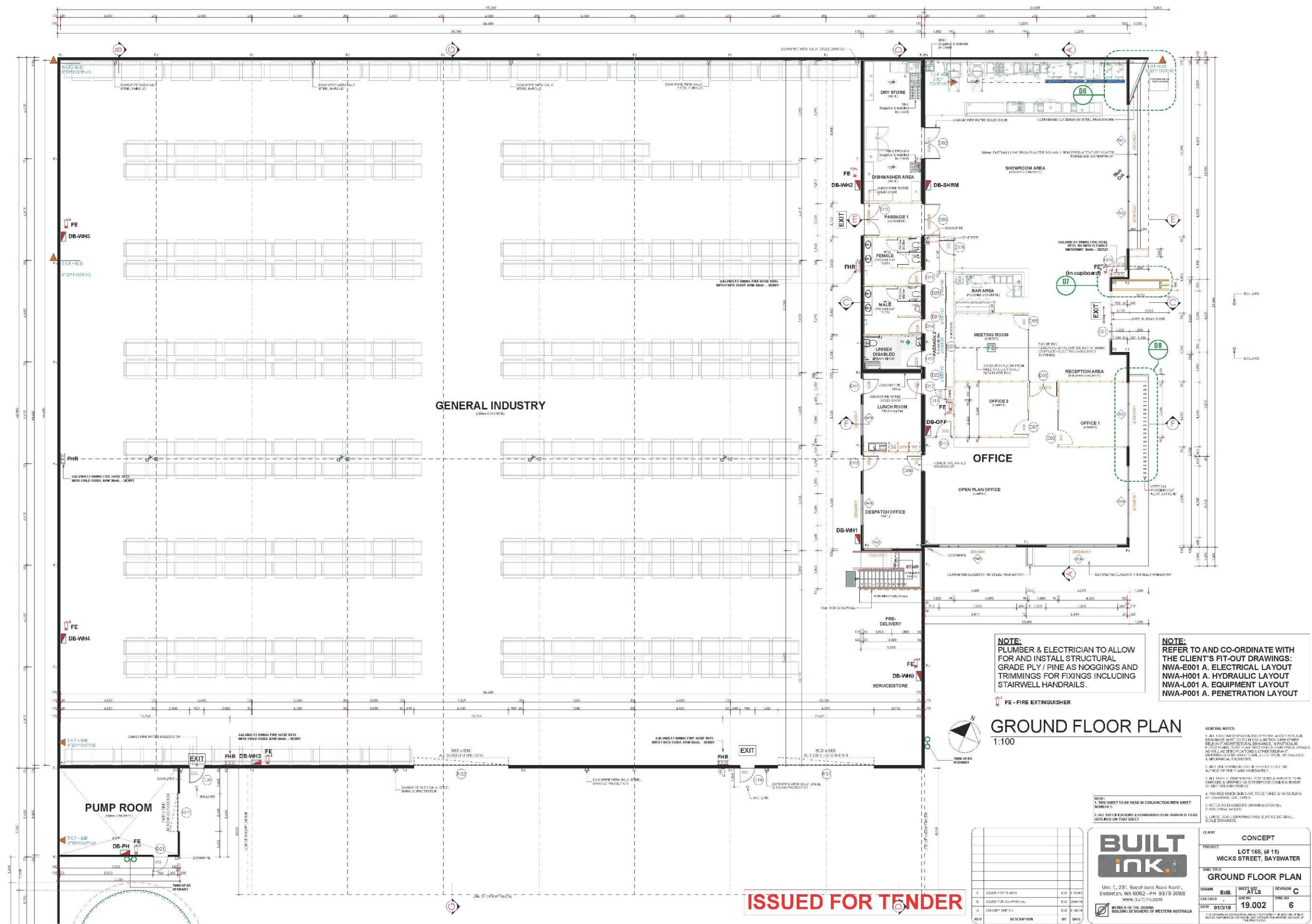
REV	DESCRIPTION	BY	DATE
1	ISSUED FOR TENDER	E.D.	01/07/19
2	ISSUED FOR APPROVAL	E.D.	01/07/19
3	CONCEPT DESIGN	E.D.	01/07/19

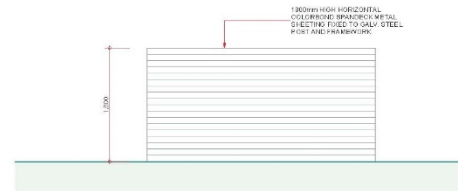
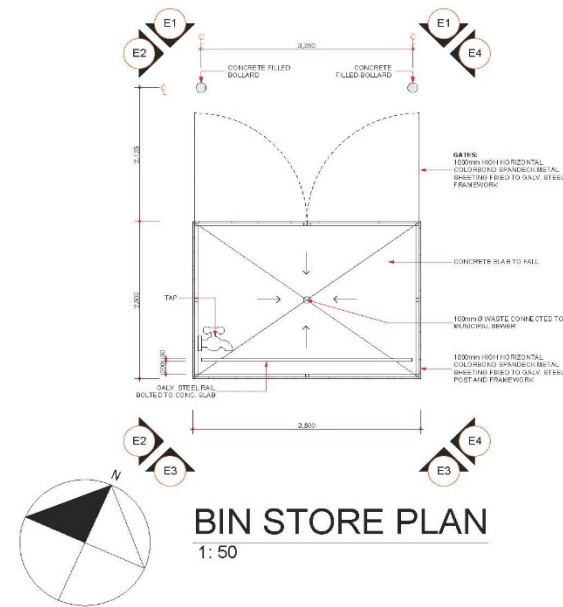
CONCEPT

LANDSCAPING PLAN

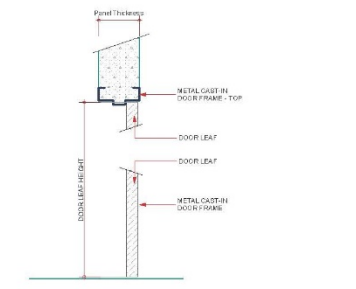
19.002

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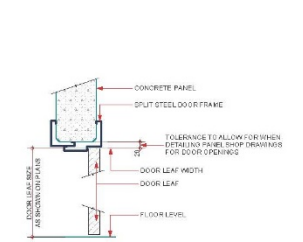




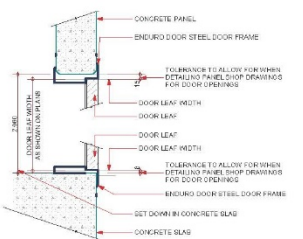
BIN STORE ELEVATION 3



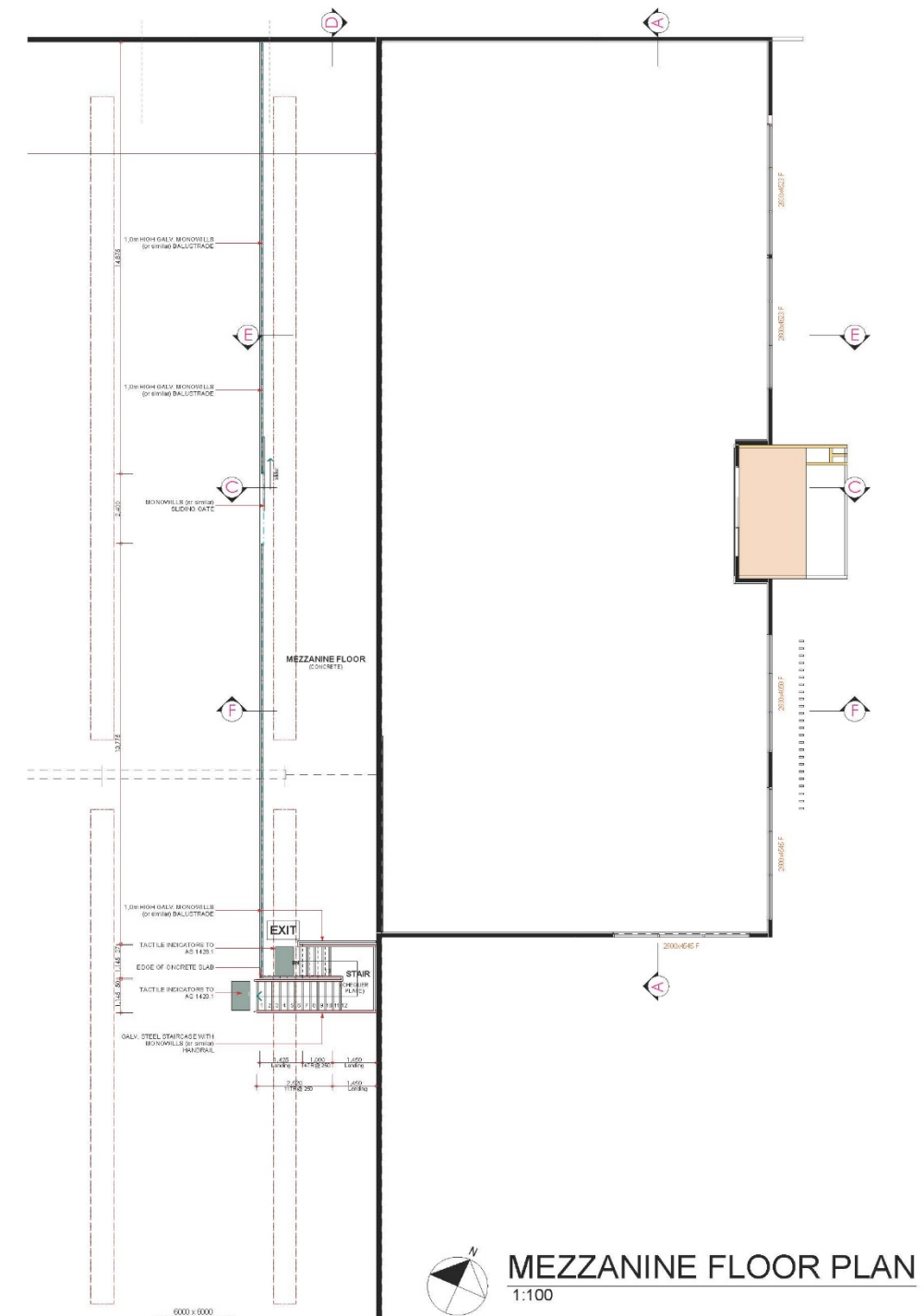
DOOR FIXING DETAIL - SECTION
1: 10
METAL CAST-IN DOOR FRAME



DOOR FIXING DETAIL - HEAD



ENDURO DOOR FRAME



MEZZANINE FLOOR PLAN

GENERAL NOTES:

1. ALL CONTRACTORS READING SPECIFIC ARCHITECTURAL DRAWINGS MUST DO SO IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL DRAWINGS, IN PARTICULAR, BUT NOT LIMITED TO, ROOF PLAN, SECTIONS, ELEVATIONS & DETAILS, AS WELL AS SPECIFICATIONS AND OTHER RELEVANT DRAWINGS FROM STRUCTURAL, ELECTRICAL, HYDRAULICS & MECHANICAL ENGINEERS.
2. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
3. ALL LEVELS, DIMENSIONS, POSITIONS & HEIGHTS TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS.
4. FIGURED DIMENSIONS ARE TO BE TAKEN & NO SCALING OF DRAWINGS IS ALLOWED.
5. REFER TO ENGINEER'S DRAWINGS FOR ALL STRUCTURAL WORKS.
6. LARGE SCALE DRAWINGS WILL SUPERSEDE SMALL SCALE DRAWINGS.

NOTE:
1. THIS SHEET TO BE READ IN CONJUNCTION WITH SHEET
NUMBER 2.
2. ALL SPECIFICATIONS & STANDARDS TO BE ADHERED TO AS
OUTLINED ON THAT SHEET

C	ISSUED FOR TENDER	0.80	10	
D	ISSUED FOR DA APPROVAL	0.80	20	
A	CONCEPT SKETCH	0.80	36	
REV	DESCRIPTION	BY	DATE	

	CLIENT			
	PROJECT			
	LOT 166, (# 11) WICKS STREET, BAYSWATER			
	DWG TITLE			
	MEZZANINE PLAN			
Unit 1, 231 Beechboro Road North, Bayswater, WA 6062 - PH 9379 3058 www.builtink.com.au				
	DRAWN CML CREK	SHEET NO 14	AT LS	REVISION C
	DATE	10/02/02	DWG NO	7
	THE ISSUANCE OF THIS DRAWING IS THE PROPERTY OF FIRBERG & MUIR LTD. IT IS NOT TO BE LOANED, COPIED OR USED WITHOUT THE WRITTEN CONSENT OF FIRBERG & MUIR LTD.			
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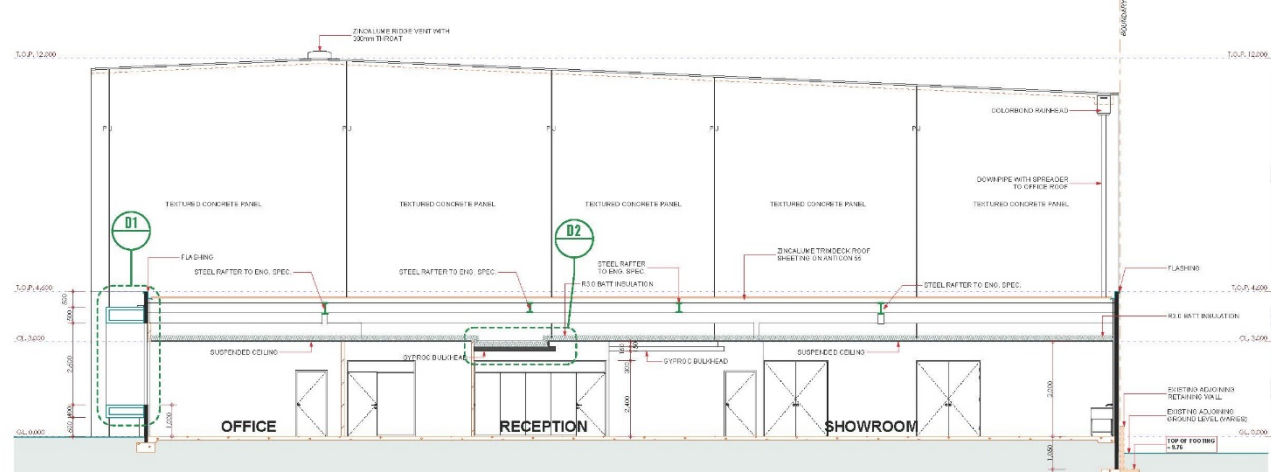
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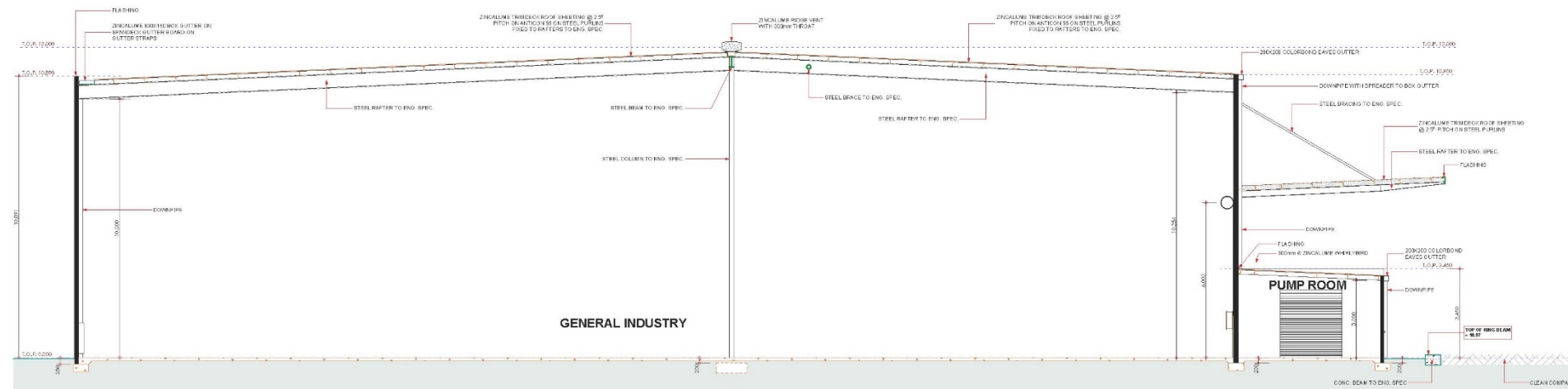
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NORTH EAST ELEVATION
1:100



SECTION A-A
1:100



SECTION B-B
1:100

GENERAL NOTES:
1. ALL CONTRACTORS READING SPECIFIC ARCHITECTURAL DRAWINGS MUST DO SO IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL DRAWINGS, IN PARTICULAR, FOUNDATIONS, DOOR & WINDOW SCHEDULES, ELEVATIONS & DETAILS.
2. ALL WORKS TO BE DONE TO THE SATISFACTION OF THE ARCHITECT.
3. ALL LEVELS, DIMENSIONS, POSITIONS & HEIGHTS TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS.
4. FLOORING DIMENSIONS TO BE TAKEN & NO SCALING OF DRAWINGS IS ALLOWED.
5. REFER TO ENGINEER'S DRAWINGS FOR ALL STRUCTURAL WORKS.
6. LARGE SCALE DRAWINGS WILL SUPERSEDE SMALL SCALE DRAWINGS.

1. THIS SHEET IS TO BE READ IN CONJUNCTION WITH SHEET NUMBER 2.
2. ALL SITE CREATIONS & STANDARDS TO BE ADHERED TO AS OUTLINED ON THAT SHEET.

REV	DESCRIPTION	BY	DATE
C	ISSUED FOR TENDER	E.B.	11/05/19
D	ISSUED FOR APPROVAL	E.B.	28/05/19
A	CONCEPT SKETCH	E.B.	01/02/19

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Emmerton, WA 6062 • PH 9379 3068
www.builtink.com.au
MEMBER OF THE BOWEN
BUILDING DESIGNERS OF WESTERN AUSTRALIA

CLIENT	CONCEPT
PROJECT	LOT 166, (# 11) WICKS STREET, BAYSWATER
DWG TITLE	ELEVATION & SECTION
DRAWN	E.B.
CHECKED	ATLS
DATE	01/02/19
DWG NO	19.002
REVISION	C
10	

ISSUED FOR TENDER

Architectural rendering of a building facade. Callouts include: TEXTURE COAT - BASALT, DOWNPIPES & EAVES GUTTERS - COLORBOND BASALT, SIGNAGE BY CLIENT, TEXTURE COAT - BASALT, ULTRABOND - PEARL WHITE GLOSS, ULTRABOND - SPARKLING DARK GREY, TEXTURE COAT - SHALE GREY, DOWNPIPE & RAINHEAD - SHALE GREY, ROLLER DOORS - COLORBOND BASALT, FLASHING - COLORBOND BASALT, RAFTERS & PURLINS - NATURAL GALV., and TEXTURE COAT - SHALE GREY.

Architectural rendering of a building facade. Callouts include: SIGNAGE BY CLIENT, TEXTURE COAT - BASALT, TEXTURE COAT - SHALE GREY, ULTRABOND - SPARKLING DARK GREY, POWDERCOAT ALUMINIUM - STEEL PEARL, ULTRABOND - SPARKLING DARK GREY, TEXTURE COAT - SHALE GREY, ULTRABOND - PEARL WHITE GLOSS, ULTRABOND - COPPER METALIC, ULTRABOND - COPPER PEARL, DOWNPIPES & RAINHEAD - COLORBOND BASALT, TEXTURE COAT - SHALE GREY, ULTRABOND - SPARKLING DARK GREY, POWDERCOAT ALUMINIUM - STEEL PEARL, ULTRABOND - SPARKLING DARK GREY, TEXTURE COAT - SHALE GREY, and TEXTURE COAT - SHALE GREY.

GENERAL NOTES:

1. ALL CONTRACTORS SHALL OBTAIN SPECIFIC ARCHITECTURAL APPROVALS PRIOR TO CONSTRUCTION WITH OTHER RELEVANT ARCHITECTURAL DRAWINGS, IN PARTICULAR, FLOORING, ROOF, PLUMBING, ELECTRICAL & MECHANICAL.
2. ALL LEVELS, DIMENSIONS, POSITIONS & HEIGHTS TO BE CHECKED & VERIFIED PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
3. ALL DIMENSIONS ARE TO BE TAKEN & NO SCALE OF DRAWINGS IS ALLOWED.
4. REFER TO PLANNING DRAWINGS FOR ALL STRUCTURAL WORKS.
5. LAKE OF SCALE DRAWINGS WILL SUPERSEDE SMALL SCALE DRAWINGS.

NOTES:

1. THIS SHEET TO BE READ IN CONJUNCTION WITH SHEET NUMBER 1.
2. ALL SPECIFICATIONS & STANDARDS TO BE ADHERED TO AS OUTLINED ON THAT SHEET.

REV	DESCRIPTION	BY	DATE
C	ISSUED FOR TENDER	EAB	11/06/19
B	ISSUED FOR APPROVAL	EAB	28/03/19
A	CONCEPT DESIGN	EAB	30/03/19

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CLIENT	
CONCEPT	
PROJECT	
LOT 166, (# 11) WICKS STREET, BAYSWATER	
DWG TITLE	
PERSPECTIVES	
DRAWN	REVISION
EAB	C
CHECKED	DATE
19.002	12
DATE	BY
01/07/19	

ISSUED FOR TENDER

10.4.2 Proposed Change of Use to Health Studio and Associated Alterations - Lot 75, 484 Walter Road East, Embleton

Applicant/Proponent:	Planning Solutions	
Owner:	Forrest Highway Developments Pty Ltd	
Responsible Branch:	Development Approvals	
Responsible Directorate:	Community and Development	
Authority/Discretion:	<input type="checkbox"/> Advocacy <input type="checkbox"/> Executive/Strategic <input type="checkbox"/> Legislative	<input type="checkbox"/> Review <input checked="" type="checkbox"/> Quasi-Judicial <input type="checkbox"/> Information Purposes
Voting Requirement:	Simple Majority Required	
Attachments:	1. Development Plans Confidential Attachment 1. Submission Location Plan	
Refer:	Item 10.5: PDSC 04.12.2018 Item 9.1.3: PDSC 21.01.2018	

Confidential Attachment(s) – in accordance with Section 5.23(2) (b) of the Local Government Act 1995 – personal affairs of any person.

SUMMARY

A planning application has been submitted for a proposed change of use to health studio (gymnasium) and associated alterations at Lot 75, Unit 2 484 Walter Road East, Embleton. The site has three existing buildings comprising a service industry, fast food outlet, showroom, service station and convenience store. The proposed health studio is located inside the middle tenancy of the complex which has previously been approved as a showroom and fast food outlet.

The application is being referred to Council for determination as the application proposes a further car parking shortfall to the existing car parking shortfall on the site. One submission was received in support of the proposal during public consultation. Given the general active nature of the use and the peak demand for car parking for the health studio will occur outside of business hours, the proposal is supported.

COUNCIL RESOLUTION

(OFFICER'S RECOMMENDATION)

That Council approves the planning application dated 11 April 2019 and plans dated 29 May 2019 for a proposed change of use to health studio (gymnasium) and associated alterations at Lot 75, Unit 2, 484 Walter Road East, Embleton, subject to the following conditions:

1. The development shall be carried out only in accordance with the terms of the application as approved herein, and any approved plan.
2. A maximum one staff member is permitted at any one time.
3. Windows, doors and adjacent areas fronting Walter Road East shall maintain an active and interactive relationship with the street, to the satisfaction of the City of Bayswater.
4. Organised group fitness activities and classes are not permitted to operate from the premises.
5. A bicycle parking facility shall be provided at a location convenient to the entrances and within the approved development. Details of the design and layout of the bicycle parking facility shall be submitted to and approved by the City of Bayswater prior to the installation of such facility.

6. A separate application including plans or description of any additional signs for the proposed development (including signs painted on a building) shall be submitted to and approved by the City of Bayswater, prior to the erection of any signage.

Advice Notes:

1. To activate the planning approval, the development/use subject of this approval must be substantially commenced within a period of two years of the date of this approval notice. If the development is not substantially commenced within this period, this approval shall lapse and be of no further effect. Where an approval has lapsed, no development/use shall be carried out without the further approval of the City having first been sought and obtained.
2. This approval is not a building permit or an approval under any other law than the *Planning and Development Act 2005*. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
3. This approval is not an authority to ignore any constraint to development on the land, which may exist through contract or on title, such as but not limited to an easement or restrictive covenant. It is the responsibility of the applicant/owner to investigate any such constraints before commencing development.
4. The use hereby permitted shall comply with the *Environmental Protection Act 1986*, the *Health Act 1911* and any relevant environmental protection or health regulations.

CR CATHERINE EHRHARDT MOVED, CR FILOMENA PIFFARETTI SECONDED

CARRIED UNANIMOUSLY: 9/0

BACKGROUND

Application Number:	DA19-0163
Address:	Lot 75, Unit 2, 484 Walter Road East, Embleton
Town Planning Scheme Zoning:	Light Industry
Use Class:	Health Studio - 'D'
Existing Land Use:	Service Station, Convenience Store and Service Industry
Surrounding Land Use:	Commercial, Industrial and Residential
Proposed Development:	Change of Use to Health Studio and Associated Alterations

A planning application dated 11 April and plans dated 29 May 2019 have been received for a proposed change of use to health studio (gymnasium) and associated alterations at Lot 75, Unit 2, 484 Walter Road East, Embleton. The proposed gymnasium will be operated by 'Snap Fitness' and will operate as follows:

- The health studio is proposed to operate 24 hours a day, 7 days per week.
- The health studio will have a maximum of one staff member at any one time Monday to Friday between 10:30am and 7pm and between 9am and 1pm on Saturdays. The health studio will be 'unmanned' outside of these hours.
- No group fitness activities or classes are proposed.

The proposal includes an internal fit out only and no other changes to the approved development. The application is being referred to Council as the proposed parking shortfall is beyond the delegated authority of the City officers.



EXTERNAL CONSULTATION

The City sought comment for the proposal from adjacent property owners for a period of 14 days. At the completion of advertising one submission was received in support of the application.

OFFICER'S COMMENTS

Key Scheme Provisions		Required	Provided	Assessment
Car Parking:				
Existing Convenience Store		26 bays	16 bays	Existing approved variation (10 bays)
Existing Station	Service	8 bays	8 (bowser) bays	Compliant
Existing Industry	Service	9 bays	9 bays	Compliant
Proposed Studio	Health	24 bays	9 bays	Variation (proposed further 15 bays)
Total:		67 bays	42 bays	Variation

Site Context

The development received approval in January 2018 for a service station and associated convenience store, service industry and showroom. A second approval was granted by Council in December 2018 to change the use of a portion of the showroom to a fast food outlet. The showroom, fast food outlet and service industry tenancies are currently vacant. The proposed health studio would occupy the middle tenancy in the complex containing the approved showroom and fast food outlet.

The site is surrounded by industrial uses to the south and west, commercial and retail uses to the north and west and residential uses to the east and north-west of the site. The closest residential properties are located directly opposite the crossover onto Beechboro Road North.

Appropriateness of Use

The tenancy where the health studio is proposed is currently vacant. The proposed health studio is a discretionary use under Town Planning Scheme No. 24 (TPS24). The health studio is proposed to be open 24/7 which will provide after-hours surveillance to the surrounding industrial and commercial area in addition to the service station and convenience store which are also open 24/7.

Given the scale and nature of the proposed health studio and other approved uses on site including service station and associated convenience store and service industry the health studio use is considered compatible and appropriate for the site.

The use will also provide an opportunity for members of the community who may not be able to exercise during normal business hours. The health studio is adequately separated from residential dwellings and the use is contained indoors, additionally, no group fitness activities are proposed. Therefore it is considered that the proposed use will not result in any undue noise impacts upon nearby residential dwellings.

Car Parking

The proposed health studio requires 24 car parking bays in accordance with the City's TPS24. There is an existing car parking shortfall on the site, including a 10 bay parking shortfall associated with the convenience store which was approved as part of the original application due to a double up of the car parking requirement for the bowser bays for service stations in TPS24. The previously approved shortfall was argued on the basis that the car park had been designed to enable reciprocal shared parking for the range of uses on the site which have different hours of operations to offset the peak demand for car parking at different times throughout the day.

A second car parking shortfall of 5 additional bays was approved for a fast food outlet (in the same tenancy the subject of this application) in December 2018, however this use will not proceed if this application is granted approval. Given there is no opportunity to accommodate any additional parking bays within this development, the overall onsite parking shortfall proposed is 42 bays in lieu of 67 bays representing a shortfall of 37.3%.

The applicant has submitted evidence based on data obtained from their other Snap Fitness locations which indicate that the busiest time for the gymnasium would be between 5pm - 7:30pm on weekdays and 10am and 12pm on weekends and public holidays with an average of 13 people attending the gymnasium per hour during the peak times. No group fitness classes or crèche is proposed which reduces the demand for parking compared to other gymnasiums which offer these services as these services normally result in a higher demand for car parking.

The peak demand for car parking is likely to be between 5pm and 7:30pm on weekdays when the adjoining service industry is closed. Therefore gymnasium patrons will be able to utilise the nine parking bays allocated for the service industry and the reciprocal parking for the other uses on

the site in addition to the nine parking bays for the health studio resulting in the availability of at least 18 parking bays during peak times. The data provided indicates that the number of people in the gymnasium rarely exceeds 18 people at any one time in addition to one staff member. Alternate transport options available for gymnasium patrons and staff include walking, cycling and the high frequency bus route along Walter Road East.

There is no available on street parking along Walter Road East and the nearest on street parking would be along Beechboro Road North or Cherry Court opposite the subject site. The application has been advertised to surrounding land owners with one submission received in support of the proposal.

Given the above, it is considered that the proposed car parking shortfall is would not result in an undue impact upon adjoining properties and it is considered that the likely demand for car parking would be contained within the site.

LEGISLATIVE COMPLIANCE

- City of Bayswater Town Planning Scheme No.24 and local planning policies; and
- *Planning and Development Local Planning Schemes) Regulations 2015.*

OPTIONS

The following options are available to Council:

1. Council approves the development application in accordance with the Officer's Recommendation. The risks associated with this option is considered to be reduced due to the reasons given for the Officer's Recommendation.
2. Council approves the development application subject to deleted or alternate condition(s). The risks associated with this option is considered dependent on the reasons given for the deleted/alternate condition(s) and the nature of the deleted/alternate condition(s).
3. Council refuses the development application. The risks associated with this option is considered dependent on the reasons given for the application to be refused.

FINANCIAL IMPLICATIONS

Nil.

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme: Our Built Environment
Aspiration: A quality and connected built environment
Outcome B3: Quality Built Environment

The proposed change of use is within an existing newly built development that is vacant. It is considered that the proposal will assist in contributing to a quality built environment through activating an existing industrial node.

CONCLUSION

In light of the above, it is considered that the proposed change of use to health studio (gymnasium) will improve the liveability and range of recreational pursuits for the community in the surrounding area. Accordingly it is recommended that Council approves the proposal subject to appropriate conditions including a restriction on number of staff and group fitness activities and classes.

SITE SUBJECT TO THIS APPLICATION
UNIT 2, No. 243 LOT 751 CNR BEECHBORO ROAD AND BROUN AVENUE EMBLETON. WA.

BROUN AVENUE

LOT 751

LOT 755

UNIT 1
BRIDGESTONE TYRE CENTRE

EXISTING TENANCY
UNIT 2
GLA - 343m²

UNIT 3
BP CONVENIENCE STORE

EXISTING CANOPY FORECOURT

BEECHBORO NORTH ROAD

BOUNDARY

EXISTING BAYS

EXISTING CROSSOVER

EXISTING PYLON SIGN

EXISTING COMMERCIAL DEVELOPMENT

IIA

HINDLEY & ASSOCIATES
INCORPORATED
BUILDING DESIGNERS
165 STURGEON HIGHWAY
NEEDHAM, MA 02461

THE MEDICAL
INSTITUTE OF THE CITY OF NEW YORK

[illegible]

CHANGE OF USE

Date	05/04/10
Design	100
Drawn	100
Reviewed	100
Scale	1:100
Author	100
Drawn	A01
Rev	A

[illegible]

A TRUSTEES FOR
 HINDLEY TRUST
 ADV. NO. 033 SEP 904

NO.	DATE	FORWARDING	ORIGIN	DEST.
1	10/1/75	RECEIVED FOR COMPANY	200	100

NO DILLI

SITE LOCATION PLAN

**PROPOSED CHANGE OF USE
UNIT 2. LOT 751, CNR BEECHBORO RD
& BROUN AVE. EMBLETON, WA.
for SNAP FITNESS**

10.4.3 Proposed Community Events Calendar for 2019/20

Responsible Branch:	Community Development	
Responsible Directorate:	Community and Development	
Authority/Discretion:	<input type="checkbox"/> Advocacy <input checked="" type="checkbox"/> Executive/Strategic <input type="checkbox"/> Legislative	<input type="checkbox"/> Review <input type="checkbox"/> Quasi-Judicial <input type="checkbox"/> Information Purposes
Voting Requirement:	Simple Majority Required	
Attachments:	1. Proposed Calendar of Events 2019/20 - Engage Bayswater Community Consultation Results	
Refer:	Item 10.4.3: OCM 09.07.2019 Item 10.4.4: OCM 30.04.2019	

SUMMARY

Council consideration is sought in relation to the final adoption of the City's annual events calendar for 2019/20, following community consultation.

COUNCIL RESOLUTION
(OFFICER'S RECOMMENDATION)

That Council adopts the proposed community events calendar for 2019/20 as presented in this report.

CR SALLY PALMER MOVED, CR GIORGIA JOHNSON SECONDED
CARRIED UNANIMOUSLY BY EXCEPTION (ENBLOC): 9/0

BACKGROUND

The City recently completed an annual review of its community events in line with the City's Corporate Business Plan (2017-2027) action: '*Undertake an annual review of the City's events program (2017 - 2021)*'.

The findings of the 2018/2019 community events review was presented at the Councillor Workshop held 2 April 2019. At this workshop, Councillors were also advised that a community events review report would be presented for Council consideration at the 30 April 2019 Ordinary Council Meeting.

At the Ordinary Council Meeting of 30 April 2019 a deputation was made by community representatives from local community group, Baysie Rollers in relation to the Community Events Program Review report being presented. At this meeting, Council resolved as follows:

"That Council:

- 1. Releases for public consultation, following the next Councillor Workshop, the proposed 2019/2020 community events program, City of Bayswater Events Review 2018/2019, with a report to come to Council before the end of this financial year."*

A further Councillor workshop was held on 7 May 2019 and the Events Calendar was further revised. It was subsequently released for public comment from 22 May to 4 June 2019.

Whilst the Council resolution of 30 April 2019 indicated that a further report be presented to Council before the end of financial year, staff were unable to meet that deadline due to the time required to analyse the submissions received.

EXTERNAL CONSULTATION

Significant external feedback regarding the City's delivery of community events was taken into consideration to inform the review, including feedback over the past 12 months from:

- Event survey results from various targeted events;
- Social media platforms;
- Emails and telephone calls received related to event delivery;
- Two Cultural Plan community workshops;
- Lotterywest - as a key funding body;
- Eastern Metropolitan Regional Council (EMRC);
- Other community engagement activities i.e. Strategic Community Plan review, Youth Action Plan, Reconciliation Action Plan; and
- Local government sector feedback and consultation.

Public advertising of the draft 2019/20 annual events calendar was undertaken in accordance with Council resolution of 30 April 2019. A total of 83 community members visited the Engage Bayswater site to read the City of Bayswater Events Review Discussion Paper. Of those visitors, 33 made submissions. These were from a mix of: local residents, local ratepayers, local business owners, individuals working in the City of Bayswater, community groups and others who did not provide a contributor status. A summary of these submissions is provided in Attachment 1.

OFFICER'S COMMENTS

Following the analysis of the 33 submissions received, and consideration of each of these, no further modifications have been proposed to the draft 2019/20 annual events calendar, as approximately 85% of submissions received indicated general support for the draft annual events calendar 2019/20.

Some other key shared views expressed within the submissions include:

- Support for the continuation of the City of Bayswater and North of Perth Music Festival;
- Support for the continuation of smaller events throughout the year;
- Support for the continuation of the City of Bayswater Dance Festivals;
- A couple of queries about the purpose and funding allocation towards the Early Settlers event; and
- A total of 13 questions were asked within the submissions received.

Questions received

The 13 questions asked within the submissions received are listed below along with a response from the City. In order to close the loop with the community members who raised questions, the City will be releasing a Frequently Asked Questions document on Engage Bayswater so that it is accessible to everyone who made a submission.

1. City of Bayswater Concert Question: *I would like to know what is involved in the new event proposed, City of Bayswater Concert, given there are already a number of concerts in the events calendar. What is different about this one and will one of the other concert events be discontinued?*

City Response: The difference is that this is a larger scale concert with a crowd expecting to exceed 5,000 people. It is proposed that the Perth Symphony Orchestra deliver the

2019/20 concert at Pat O'Hara Reserve. The City will no longer be delivering its Multicultural Community Concert in 2019/20 (this one will be discontinued), as it historically attracts only a small percentage of the community (approximately 200 people) some of who do not reside in the City of Bayswater. In addition, the City will continue to celebrate its multiculturalism through the implementation of its draft Cultural Plan 2019-2024.

2. City of Bayswater Concert Question: *Why another \$50,000 of ratepayer money on a new major event?*

City Response: Community and stakeholder feedback that informed the City's annual events review indicated that there was a strong community desire to have a large scale concert in the City of Bayswater, similar to the Perth Symphony Orchestra concert held in February 2019.

3. Early Settlers Event Question: *What was the previous budgets in those formats/offering and what is on offer now for the revised budget?*

City Response: In 2017 and 2018 the budget to deliver the event was \$30,000. The City facilitated two high tea sittings (morning and afternoon) to accommodate all guests. The event was held at The RISE in Maylands. The City is now proposing for a community group to run the event with a budget of \$15,000, with an opportunity to run the event in a different format to other years.

4. Early Settlers Event Question: *The proposal of one event to be delivered by a community group really? Which community group? Morley Momentum? Noranda vibes? Baysie Rollers? If this is to do another Baysie Street Festival, again a one-off event that is nice, but what about the other 364 days per year?*

City Response: The \$15,000 budget proposed for a community group to deliver the event will be added to the City's new Community Events Grant funding commencing on 1 July 2019. This is so any interested local community group or organisation has an equal opportunity to apply for the funding to deliver an Early Settlers event, which is to celebrate the pioneers of the City of Bayswater.

5. City of Bayswater North of Perth Music Festival Question: *Not so pleased about the music festival as I am not sure why we are supporting the North of Perth. Should this not be the City of Bayswater festival if the City is running it?*

City Response: The official event name is City of Bayswater North of Perth Music Festival, as it is delivered in partnership with the City of Bayswater and held within the City of Bayswater (at The RISE in Maylands and Morley Sport and Recreation Centre). The City supports this festival, as it provides participants of all ages an opportunity to perform their musical talents publicly. The delivery of this event is also aligned to the expected outcomes of the draft Cultural Plan 2019-2024.

6. Question: *Are the garden awards and food appeal actually events?*

City Response: Whilst the Garden Awards can be better described as a City initiative rather than an event, a small, concluding community event is facilitated by the City for the award winners. The Food Appeal is an initiative that is aligned to the City's Carols by Candlelight event; this is why it is presented to the community as a community event.

7. Question: *Is there any money allocated to the Bayswater Farmers Market initiative?*

City Response: The City will be running Twilight Markets, as presented in the proposed events calendar for 2019/20. Funding for community-run initiatives are dealt with separately and not covered within the proposed annual events calendar for 2019/20.

8. Question: *Could you please consider involving the local community in the activities such as Plant a Tree Day?*

City Response: The City holds a number of community planting days involving local community groups and individuals. The planting days are advertised on the City's website during the planting season/ winter season.

9. Question: *Has criteria been developed that helps to check the strategic alignment of the events and community- purpose of the event (fills a gap or need not catered for elsewhere), value-add to community, relevance, creativity etc?*

City Response: The City's events calendar is reviewed on an annual basis and event outcomes are aligned to the City's Strategic Community Plan. One of the City's strategies is to deliver quality community programs that encourage community interaction and participation. The City's events review facilitates that this strategy is fulfilled.

10. Question: *Are the timing of the event and timing of the funds being made available annually to meet local gaps and needs?*

City Response: The City's events budget is an annual budget with each event having a budget allocation for delivery. The timing of the proposed events were indicated in the Discussion Paper, as the proposed dates for delivery. The City's new Community Events Grant will be released twice per financial year in order to meet local need.

11. Question: *There is a focus on performing arts and visual arts yet no allocation to sculptural or techno artworks or community arts?*

City Response: Funding associated with the City's Cultural Plan is separate to the annual calendar of events funding. The City is allocating a total of \$10,000 (as proposed in the draft budget for 2019/20) for the delivery of arts and culture actions as listed in the City's draft Cultural Plan.

12. Community Art Awards Question: *Are these funds achieving the purpose? Could these funds (larger amount) be rotated around to different areas of the arts and made available every two years and focus on different aspects of visual arts or performing?*

City Response: The funding is considered to be currently achieving the purpose of facilitating community arts awards. In 2018, the City received more artwork entries than in other years. The event will once again be reviewed for 2029/21 to ensure it continues to meet community need.

13. Question: *Evening in the Park seems be getting later into the year? It was once the vehicle of bringing those commencing or new at school or our community together? Supported by library funds? Is this still relevant and should these be smaller events to enable connection at key locations?*

City Response: Evening in the Park is proposed to take place in March 2020 and aligned to Harmony Day so as to celebrate the City's multiculturalism. The event has grown over the past two years and library usage is no longer a focus of the event. However, the City's three libraries continue to deliver various community events, activities and programs throughout the year to enable connections at each of the library locations.

Proposed Events Calendar 2019/20 for Council Adoption

The events calendar below is proposed for Council adoption for 2019/20, as the majority of community submissions made (approximately 85%) were in support of these events.

Event	Proposed Month	Proposed Budget 2019/20
Avon Descent Finish Line Event	August 2019	\$43,000 (An external grant will also be pursued to top up funding for this event)
City of Bayswater North of Perth Music Festival	September - October 2019	\$25,000

City of Bayswater Garden Awards	September - November 2019	\$10,000
City of Bayswater Spring Dance Festival	October 2019	\$12,000
Early Settlers Event (To be delivered by a community group)	October 2019	\$15,000 <i>Funding for this event is proposed to be included in the new Community Events Grants Program pool of funding commencing 1 July.</i>
City of Bayswater School Banner Competition	October- November 2019	\$9,000
Community Arts Awards	October - November 2019	\$41,700
Annual Food Appeal	December 2019	\$4,000
Carols by Candlelight	December 2019	\$19,000
Australia Day Community BBQ	January 2020	\$12,500
City of Bayswater Concert	February 2020	\$50,000 <i>(an external grant will also be pursued to top up funding for this event)</i>
Jazz in the Park	February 2020	\$11,000
Twilight Markets	February/March 2020	\$22,000
Evening in the Park (Harmony Week Event)	March 2020	\$19,000
Movie in the Park	March 2020	\$10,000
City of Bayswater Dance Festival - Autumn	April - May 2020	\$12,000
ANZAC Day Ceremonies	April 2020	\$1,000

Other Events the City Delivers

Beyond the events already listed above, the City also delivers a range of other events. For example:

- School scholarships;
- NAIDOC week;
- Citizenship ceremonies;
- Events and activities listed in other strategic plans;
- Library events;
- Place activation activities; and
- Youth events and activities.

These events and initiatives will continue to be delivered in 2019/20. In addition, the City will commence its Community Event Grant program from 1 July 2019, which will further increase opportunities for community-led events to be delivered in the City of Bayswater.

LEGISLATIVE COMPLIANCE

N/A.

OPTIONS

In accordance with the City's Risk Management Framework, the following options have been assessed against the City's adopted risk tolerance. Comments are provided against each of the risk categories.

Option 1	Adopt the proposed annual events calendar for 2019/20, as presented in this report.	
Risk Category	Adopted Risk Appetite	Risk Assessment Outcome
Strategic Direction	Moderate	Low
Reputation	Low	Low
Governance	Low	Low
Community and Stakeholder	Moderate	Low
Financial Management	Low	Low
Environmental Responsibility	Low	Low
Service Delivery	Low	Low
Organisational Health and Safety	Low	Low
Conclusion	There are low risks associated with this option, as the proposed annual events calendar for 2019/20 was generally supported by approximately 85% of people who completed a submission during the community consultation period.	

Option 2	Do not adopt the proposed annual events calendar for 2019/20, as presented in this report.	
Risk Category	Adopted Risk Appetite	Risk Assessment Outcome
Strategic Direction	Moderate	Low
Reputation	Low	Moderate
Governance	Low	Low
Community and Stakeholder	Moderate	Moderate
Financial Management	Low	High
Environmental Responsibility	Low	Low
Service Delivery	Low	Low
Organisational Health and Safety	Low	Low
Conclusion	The proposed annual events calendar for 2019/20 was generally supported by approximately 85% of people who completed a submission during the community consultation period. To that end, if Council chooses not to adopt the annual events calendar proposed, it has the potential to cause a reputational risk and affect community support for future projects where the community is asked to provide feedback. It would also cause a high risk financially, as there would be uncertainty of budget allocations for event delivery into the 2019/20 financial year, with the first event proposed to be delivered 4 August 2019 (Avon Descent Finish Line event).	

FINANCIAL IMPLICATIONS

The review of the City's community events was undertaken in-house using existing staffing resources.

Item 1: Current 2018/2019 budget for City of Bayswater community events programs

Asset Category: N/A

Source of Funds: Municipal and State grants

LTFP Impacts: The community events are not itemised in the LTFP.

Notes: The current events budget listed below includes salaries, administration costs, citizenship ceremonies and other initiatives such as school scholarships that are not already mentioned in this report.

Item 2: Proposed 2019/2020 budget for City of Bayswater community events program

Asset Category: N/A

Source of Funds: Municipal and State grants

LTFP Impacts: The community events are not itemised in the LTFP.

Notes: The costs relating to the proposed 2019/20 events budget listed below includes the proposed \$58,000 for Community Event Grants Program commencing 1 July 2019.

ITEM NO.	CAPITAL / UPFRONT COSTS (\$)	ONGOING COSTS (\$) ANNUAL		INCOME (\$)	ASSET LIFE (YEARS)	WHOLE OF LIFE COSTS (\$)	CURRENT BUDGET (\$)
		MATERIALS & CONTRACT	STAFFING				
1	\$465,087	N/A	\$213,056	\$53,000	N/A	N/A	\$678,143
2	\$468,496	N/A	\$212,800	\$68,000	N/A	N/A	\$681,296 (in draft 2019/20 budget)

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme: Our Community

Aspiration: An active and engaged community

Outcome C1: A strong sense of community through the provision of quality services and facilities.

Outcome C2: Accessible services that recognise diversity.

One of the City's strategies is to deliver quality community programs that encourage community interaction and participation. The City's events review facilitates that this strategy is fulfilled.

CONCLUSION

Whilst some minor changes are recommended to be made to the 2019/20 annual events calendar (compared to the 2018/19 annual events calendar), it is considered that the events' core purposes; alignment to the City's Strategic Community Plan objectives; and fulfilment of community benefits will continue to be optimised.

The expenditure budget proposed for the 2019/20 community events program has marginally increased by \$3,153 from the 2018/19 annual operational budget. However the expected income, mainly anticipated through the expected attainment of State grant funding is proposed to increase for 2019/20 financial year.

During community consultation on the draft annual events calendar for 2019/20 the most common view presented by submitters was that they were in support of the proposed annual events calendar.

In light of the above, it is recommended that Council adopt the proposed annual calendar of events as contained in this report (refer to Officer's Comments).

Attachment 1**Proposed Calendar of Events 2019/20 – Engage Bayswater Community Consultation Results**

ENGAGE BAYSWATER CONSULTATIONS STATISTICS	
Visitors	83
Submissions	33

GENERAL SUPPORT FOR PROPOSED CALENDAR OF EVENTS	
Yes	28 (85%)
No/ Unsure	5 (15%)

STATUS OF CONTRIBUTORS	
I am a City of Bayswater Ratepayer	26
I am a City of Bayswater Resident	22
I work in the City of Bayswater	4
I am a business owner in the City of Bayswater	1
Other	13

NUMBER OF CONTRIBUTORS COMPLETING THE SUBMISSION ON BEHALF OF A COMMUNITY GROUP	
Yes	7
No	34

QUESTIONS ASKED BY SUBMITORS	
Varied (questions are in bold font within submissions)	9

SUBMISSIONS RECEIVED	GENERAL SUPPORT FOR PROPOSED EVENTS CALENDAR 2019/20	KEY SHARED VIEWS
I strongly support the North of Perth Music Festival because it gives young musicians of Bayswater and surrounds the opportunity to develop their performance skill and showcase their talent.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The North of Perth Music Festival gives residents of the city the opportunity to appreciate the musical skills and talent of young people from the City of Bayswater and its surrounds.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The City of Bayswater North of Perth Music Festival is an important event which is now in its 63rd year. It is an event which provides participants of all ages with a wealth of experience in public performances as well as being able to listen to others. It creates a vibrant cultural and community life within the City. I was awarded the community citizen of the year of the City in 2018 for coordinating this event.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
I am very interested in the North of Perth Music Festival, my kids participate and it's been a big focus for them when it comes to their music.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The North Perth Music Festival is the perfect avenue for very young and older kids and adults to experience the thrill and excitement of performing in front of an audience and improving their performance in their chosen acts/careers. I have enjoyed attending the junior and senior performances of NPMF for many years.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
I love going to the North Perth Music Festival as I love to see the many talents of both kids and adults alike perform in front of an audience and then being rewarded for their talents. Which could lead to their career or part of. I have been attending the North Perth Festival for many years and thoroughly enjoy it.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
We have gone to the North of Perth Music Festival for the last 30 years or so. Our children have participated and we also go to the Winner's concerts every year. There are many people who participate in all the different categories and it is a place to allow performers to have an opportunity to perform in front of an audience after practising an item ready for the day. They get feedback and experience and encouragement to continue. Apparently even Heath Ledger was a performer there one year!! As both a teacher and a parent I believe these festivals are an important part of the development in any chosen area of performance. Our family member Frank Giannini has been the main organiser of this event for many years and so we go to the Winners Concerts every year. Also our children have in the past performed at the festival.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
This is a varied calendar of events that reaches all members of the community. We believe the Council should be well pleased with this achievement. We enjoy, in particular, the City of Bayswater North of Perth Music Festival and attend on an annual basis. I am a resident in the City of Stirling and my partner resides in Rockingham but we attend the Music Festival in Bayswater.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
I would like to keep the North of Perth Festival in September at the usual venues. I am a Speech & Drama Teacher at Perth College, Mt Lawley. I enter a large number of students each year in the speech & Drama categories North of Perth Festival	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The North of Perth Music festival is a wonderful event. I have been attending it for many years. I thank the city of Bayswater for supporting such an important event. It supports and encourages young people to appreciate and develop their music talents. Please keep up the good work.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The North of Perth Music Festival has been supported by for over 50 years promoting young, talented musicians who have gone on to Australian and overseas careers in their chosen field; promotes the support and generosity of the CofB. Supported by volunteer	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
I would like to strongly support the continuation of the North of Perth Music Festival. It plays an integral part in the development of young musicians across the metropolitan area and is a showcase, in particular, for performers in our area.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The North of Perth Music Festival provides a wonderful opportunity for particularly young people to perform in public. I hope the City of Bayswater continues to support it.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
The North of Perth Music Festival should be retained in the events Calendar in the City of Bayswater. The Arts bring the wider community together whether you perform or spectate. It helps young people of develop further in the Arts. It entertainment for all ages. This assists people into further study or a career in the area of Arts.	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL
I have been involved with the festival for 20 years as a volunteer and regard it as a valuable resource for introducing children and aspiring adults to perform before the public. It has had considerable success in putting many talented people on the world (sic)	YES	CITY OF BAYSWATER SUPPORT FOR NORTH OF PERTH MUSIC FESTIVAL

SUBMISSIONS RECEIVED	GENERAL SUPPORT FOR PROPOSED EVENTS CALENDAR 2019/20	KEY SHARED VIEWS
It's great to see the smaller events across the City are proposed for the new financial year. Many Local Governments have started doing big events in their main venues and have stopped doing the smaller ones. In my opinion this doesn't benefit the community at all.	YES	SUPPORT FOR SMALLER EVENTS
The Carols by Candlelight event is awesome. I am so grateful for the free library events. I wish that there was more entertainment for young babies/toddlers at the Autumn River Festival. Is there any money allocated to the Bayswater Farmers Market initiative?	YES	SUPPORT FOR SMALLER EVENTS
The list of events is quite diverse which I think is excellent. However noting that the Autumn River Festival is not set to continue I feel that there should be more to activate the river precinct of Bayswater. It is a wonderful asset and should be utilised more for public events. I believe that the Autumn River Festival has lost its appeal so am not suggesting that this event should be continued, but that other events should be explored for the area.	YES	SUPPORT FOR SMALLER EVENTS
I like the idea of the Community Group being funded to put on another event. However the theme for this next event (Early Settlers) is very similar to the one held this year. I think the theme should change each year to keep it fresh and new.		
I also feel that there should be more events that activate town centres with the view of supporting local business. My local town centre is the Bayswater Town Centre. With the building of the new train station, the loss of parking, and the issues during construction phase, I think we need to support the local businesses as much as possible to ensure that we are still pulling people into the town centre.		
There is talk of one of the Bayswater community groups starting a weekly market in the town centre of Bayswater. I would like to see the City of Bayswater supporting these ongoing initiatives that activate the town centre on a regular basis and will have the flow on effect of supporting local business.		
I think community events that provide a range of entertainment and appeal to a diverse range of people are a great thing for the community. Many of the events on the Calendar of Events appear to do this. Riverside Gardens is such a fabulous area that is used by a lot of people and it would be good to see more events held there e.g. multicultural food festival, music festival, markets (i.e. local produce - food and vegetable) held every fortnight as is done in other suburbs e.g. Subiaco, Claremont - or held at the local primary school - Bayswater.	YES	SUPPORT FOR SMALLER EVENTS
It's good to see that there are still smaller events being held in local areas. I am hoping this continues.	YES	SUPPORT FOR SMALLER EVENTS
With construction works to start on the Bayswater station soon, we need to encourage visitation to the town centre to help local businesses with their trade. One way of doing this is to encourage events at Bert Wright Park. The discussion paper speaks of one new community event and one new major event - the City should encourage these events in the town centre.	UNSURE	SUPPORT FOR SMALLER EVENTS
Thank you for providing the opportunity for us to give feedback to the proposed CoB Calendar of Events. I notice there is a lot of 'Dance Festivals', Jazz in the Park, Music Festival, and then a proposed 'Concert'. Perhaps one of these could have a sole indigenous focus. I don't find anything on that Calendar of Events that really embraces that, apart from activities included in Harmony Week. I think we should have something that celebrates our local indigenous people, art, music, and achievements in the one event, separate to a token Harmony Week event. I also like the idea of the weekly Farmers Markets. Hopefully there is some budget leftover to assist with this if it gets off the ground.	YES	SUPPORT FOR SMALLER EVENTS
Could you please consider involving the local community in the activities such as Plant A Tree Day? It will help the residents to get together, communicate with each other and promote the importance of planting trees and addressing environment issues. And kids also love these kind of activities. Trees will also make or suburb more attractive for living, shadier and cooler. It will make the streets more enjoyable for walking during the hot summer days and reduce the cost air-conditioning.	YES	SUPPORT FOR SMALLER EVENTS
Great to see you are planning on doing events across the city as in previous years and bringing back the jazz concert and the twilight markets. Not so pleased about the music festival as I am not sure why we are supporting the north of Perth. Should this not be the City of Bayswater festival if the City is running it? I hope this approach continues and we don't end up with less events.	YES	SUPPORT FOR SMALLER EVENTS
City of Bayswater dance festival is a popular event for youth in Morley. Dance schools from Kalamunda to Joondalup all come to participate in this festival. It is one of the well run dance competitions and all dance school that participate are respectful encouraging of each other. These festivals bring the dance community together.	YES	CITY OF BAYSWATER SUPPORT FOR DANCE FESTIVALS

SUBMISSIONS RECEIVED	GENERAL SUPPORT FOR PROPOSED EVENTS CALENDAR 2019/20	KEY SHARED VIEWS
I am happy with the proposed schedule of events - especially the Dance Festivals as I know how popular it is, and how wide-spread the catchment for this event is too. Bringing people into COB is great for the City.	YES	CITY OF BAYSWATER SUPPORT FOR DANCE FESTIVALS
<p>I'm very concerned by a couple of items.</p> <p>1. I don't understand how the Early Settlers Event goes from \$15,000 to \$73,000. It used to be a dinner, then it was a robust morning tea, and now I believe a not so good morning tea (from all feedback I've received). What was the previous budgets in those formats/offering and what is on offer now for the revised budget? That needs far more clarification than what is in the proposal.</p> <p>2. Why another \$50,000 of ratepayer money on a new major event? There appears to be many one-off events. I'd need far more information than one new major event. There is far more that needs to be done in the Bayswater town centre that will be under construction/destruction for the next 5 years that could do with funding to help out the existing retailers and "heart of the inner EAST" it will be in need of defibrillation. Your approach is inward looking (what can we look good in providing for one day) not proactive: what does this town centre need to survive over the rest of the year?</p> <p>3. The proposal of one event to be delivered by a community group early? Which community group? Morely Momentum? Noranda vibes? Baysie Rollers? Of course unlikely Future Bayswater. A dangerous tactic that divides the whole of the City of Bayswater instead of uniting them. If this is to do another Baysie Street Festival, again a one-off event that is nice, but what about the other 364 days per year? Waste of money. Waste of resources. This idea lacks rigour in forecasting the fall out of its competitive nature and understanding the real needs of your community.</p> <p>The proposed calendar of events appears comprehensive and exciting. However it is difficult to determine what some of the events are e.g. Early Settlers Event. Also are the garden awards and food appeal actually events? Overall though, it looks like the City has put together a comprehensive program that should appeal to a broad cross-section of the community, i.e. there is something for everyone. It would be great to see these take advantage of different venues across the City.</p>	NO	EARLY SETTLERS
	YES	EARLY SETTLERS
I would like to know what is involved in the new event proposed, City of Bayswater Concert, given there are already a number of concerts in the events calendar. What is different about this one and will one of the other concert events be discontinued? \$50,000 seems to be a significant amount for a concert.	UNSURE	CITY OF BAYSWATER CONCERT

SUBMISSIONS RECEIVED	GENERAL SUPPORT FOR PROPOSED EVENTS CALENDAR 2019/20	KEY SHARED VIEWS
<p>Firstly, thank you for this opportunity On behalf of the Bayswater Historical Society we wish to make the following comments.</p> <p>Events Proposed: We would like the list of events to be properly reviewed, to check alignment and synergy with the engagement strategy, new Cultural Plan and community operated events or plans proposed across the district. Has a criteria been developed that helps to check the strategic alignment of the events and community- purpose of the event (fills a gap or need not catered for elsewhere), value-add to community, relevance, creativity etc? Alongside this, checks on the amounts being suggested in supporting the capability of an event- is there a logic to the funding levels and event. Are the timing of the event and timing of the funds being made available annually to meet local gaps and needs?</p> <p>We note there is limited funds towards the "ANZAC" Event. There is a shift towards having community involved in events and a reduction in funds for the category of Early Settlers. We believe this amount needs to be at \$20,000. While there are less people who would fit into this category of early settler there is considerable demand and requirements re disability hard of hearing etc. Further, the activities need to be of reasonable quality & attractiveness and at present if you had groups apply the funds would be significantly reduced there are at least 2 society's for example and several major friendships groups. We would like to request the need for a category of "Heritage" alongside this funds be \$20,000. Heritage at a local level needs to be acknowledged and catered for on a regular bases to retain and capture story, maintain records at a good quality. Bayswater has a strong history and the broader reduction of funds (lotterywest) available make it very difficult for local groups to secure funding particularly local focus and not state.</p> <p>In addition we have to increase and improve our truth telling of Indigenous story, open to diverse stories and ensure we do not lose research of good quality and standing of public record etc. On the "bigger picture" agenda this would enable recognition of local heritage both built form and historical story (key dates and significant historical events) providing significant capability and capacity building for our community enabling stronger connections.e.g. Back to Bayswater Day. There is no allocated funds to this area at present so a clear gap.</p> <p>There is a focus on performing arts and visual arts yet no allocation to sculptural or techno artworks or community arts? The community art awards seem to have been reduced and more recently in viewing there seems to be a drop in the quality of the mounting of the art work and listening to feedback the quality of the event. Are these funds achieving the purpose? Could these funds (larger amount) be rotated around to different areas of the arts and made available every two years and focus on different aspects of visual arts or performing?</p> <p>Evening in the Park seems be getting later into the year? It was once the vehicle of bringing those commencing or new at school or our community together? Supported by library funds? Is this still relevant and should these be smaller events to enable connection at key locations? We note the specific event areas that the City supports and competitive pool of funds.</p> <p>Note that there is a community events grant program and would like greater clarity around this grant?</p>	NO	MISC
The City of Bayswater Arts Award seems very expensive at \$41,000	UNSURE	MISC
According the latest research on mental health, many people suffer from depression and anxiety. Meditation sessions will be very beneficial for the local residents. Sahaja yoga Australia will be able to provide meditation sessions for free. Please contact me on 0410866979	YES	MISC
I believe that all the events that have been proposed are worthy, any programmes that raise community awareness and inclusivity are important. Maybe more of an emphasis on youth (teenage) engagement, the Battle of the Bands or individuals, would be appropriate. I don't believe a music festival is the way, as many times this creates a lot of anti-social behaviour.	YES	MISC

10.4.4 Gas Supply Agreement - Bayswater Waves

Owner:	City of Bayswater	
Responsible Branch:	Recreation	
Responsible Directorate:	Community and Development	
Authority/Discretion:	<input type="checkbox"/> Advocacy <input checked="" type="checkbox"/> Executive/Strategic <input type="checkbox"/> Legislative	<input type="checkbox"/> Review <input type="checkbox"/> Quasi-Judicial <input type="checkbox"/> Information Purposes
Voting Requirement:	Simple Majority Required	
Refer:	Item 20.4.1: OCM 31.05.2016	

SUMMARY

The current gas supply contract for Bayswater Waves is due for renegotiation. This report is for Council to consider quotations received for the supply of gas for Bayswater Waves Aquatic Centre. Entering into a fixed price contract for up to three years provides cost savings greater pricing certainty for budgeting purposes, avoids significant price increases in the medium term and ensures continuity of supply.

Quotes for supply have been sought from members of the WALGA supply panel. Received quotes have been summarised and assessed in the report below.

COUNCIL RESOLUTION
(OFFICER'S RECOMMENDATION)

That Council:

1. Approves a three-year agreement with Wesfarmers Kleenheat Gas Pty Ltd, effective from 1 August 2019 in relation to the supply of gas for Bayswater Waves.
2. Authorises the City's Chief Executive Officer to execute the agreement with Wesfarmers Kleenheat Gas Pty Ltd in relation to the supply of gas for Bayswater Waves.

CR CHRIS CORNISH, DEPUTY MAYOR MOVED, CR SALLY PALMER SECONDED
CARRIED UNANIMOUSLY: 9/0

BACKGROUND

Bayswater Waves Aquatic Centre relies on gas for heating of the pools and, at its peak, the facility was using approximately 18,000 giga joules of gas per annum. To put this into context, a giga joule (GJ) is roughly equivalent in energy yield to 30 litres of automotive fuel.

Technology upgrades over the past couple of years to the facility's building management system (BMS), gas boiler and air handling units have contributed to a reduction in the facility's gas usage to approximately 13,500 GJ per annum. The best case scenario is that consumption could reduce further to approximately 12,000 GJ without significant infrastructure upgrade.

The current gas supply agreement for the Centre is with Kleenheat Gas Pty Ltd and expires on 30 June 2019. Gas will continue to be provided at previous rates until a new contract is negotiated.

EXTERNAL CONSULTATION

No consultation has occurred with the public or other agencies on this matter.

OFFICER'S COMMENTS

Four gas retailers on the WA Local Government Association (WALGA) agreement were invited to submit quotes in relation to the supply of gas for Bayswater Waves based on locked-in pricing for the next two to three years to give more long-term certainty on pricing. All retailers that responded based their pricing on a 'per GJ' charge for consumption, as well as separate daily supply charges. No retailers would go beyond a three-year period.

A comparison of unit prices and daily supply charges is shown below. Retailers were asked to propose an annual contract quantity (ACQ) based on previous consumption, with stipulated percentage variations before additional charges apply. This has a bearing on annual total cost as gas retailers will usually impose additional charges for consumption significantly above or below the agreed AQC.

Quotes were requested from Wesfarmers Kleenheat Gas, Alinta, Synergy and Perth Energy. Synergy and Perth Energy declined to quote.

Wesfarmers Kleenheat Gas Pty Ltd is the current supplier to Bayswater Waves and offered the best overall outcome in terms of pricing. They have provided both a two-year and three-year option with fixed annual GJ price increases and a 75% minimum take requirement.

Alinta Energy provided a three-year contract with fixed annual GJ price increases and a 75% minimum take requirement.

Charge Type	Wesfarmers Kleenheat Gas Pty Ltd *			Alinta Energy *		
	Year 1	Year 2	Year 3	Year 1	Year 2	Year 3
Consumption (per GJ)	\$5.14	\$6.06	\$6.44	\$6.85	\$8.85	\$9.85
Daily supply charge	\$1.88	\$1.88	\$1.88	\$10.00	\$10.00	\$10.00
* All prices are shown as GST exclusive.						

The unit prices are considered more meaningful when applied to consumption to obtain an estimated total annual cost. The June 2018 to May 2019 actual consumption was used in the modelling and a summary of the price differences is also shown below. The pipeline infrastructure is already established and owned by a third party (ATCO Gas Australia), and the 'pass through' charges are similar with each retailer.

Retailer Offer	Total Annual	Total Over 2 Years	Total Over 3 Years
	(ex GST)		
Alinta Yr 1 Fixed	\$96,125.00		
Alinta Yr 2 Fixed	\$119,475.00	\$215,600.00	
Alinta Yr 3 Fixed	\$132,975.00		\$348,575.00
Kleenheat Yr 1	\$70,076.20		
Kleenheat Yr 2	\$81,810.00	\$151,886.20	
Kleenheat Yr 3	\$86,940.00		\$238,826.20
Note: June 2018 to May 2019 usage figures utilised. Does not include ATCO 'pass through' charges			

The ATCO 'pass through' charges have not been factored in, but do not have any bearing on the outcome as they are similar for each retailer. ATCO charges have previously ranged between \$3,500/month and \$4,500/month depending on the number of days in the month and time of usage.

Options other than gas water heating are available for Bayswater Waves but require significant capital investment. These options include geothermal heating (between \$3.5million and \$6million project cost depending on the depth of drilling required), which utilises heated ground below the earth's surface, and heat pumps (circa \$500,000 project cost to cover a portion of the heating demand) which utilise reverse cycle heating from the ambient air. Initial infrastructure is significant for these options and supply can fluctuate depending on a number of factors. It is likely that both options would need to be backed up by a gas heating system of some sort.

Whilst the technology is still developing in this area it is an opportunity for the future as infrastructure costs decrease and efficiency is improved.

LEGISLATIVE COMPLIANCE

Tenders are required under the *(Functions and General) Regulations 1996* for contracts with a value exceeding \$150,000, however certain exemptions apply, including where a supply agreement has been set up by a prescribed agency such as the WALGA.

With ATCO gas 'pass through' charges the total cost over three years will likely exceed the Chief Executive Officer's delegated limit of \$250,000, and is therefore presented to Council for consideration.

OPTIONS

In accordance with the City's Risk Management Framework, the following options have been assessed against the City's adopted risk tolerance. Comments are provided against each of the risk categories.

Option 1	1. Approves a three-year agreement with Wesfarmers Kleenheat Gas Pty Ltd, effective from 1 August 2019 in relation to the supply of gas for Bayswater Waves. 2. Authorises the City's Chief Executive Officer to execute the agreement with Wesfarmers Kleenheat Gas Pty Ltd in relation to the supply of gas for Bayswater Waves.	
Risk Category	Adopted Risk Appetite	Risk Assessment Outcome
Strategic Direction	Moderate	Low
Reputation	Low	Low
Governance	Low	Low
Community and Stakeholder	Moderate	Low
Financial Management	Low	Low
Environmental Responsibility	Low	Low
Service Delivery	Low	Low
Organisational Health and Safety	Low	Low
Conclusion	Awarding a three-year agreement with Wesfarmers Kilenheat Gas Pty Ltd provides a higher level of certainty of pricing into the future. Whilst there is an element of uncertainty beyond this period, suppliers are unwilling to lock pricing in beyond three years. Bayswater Waves is dependent on the supply of gas to heat pools and shower facilities and any disruption to this supply would significantly impact operations. Supply risk is mitigated by the size and experience of	

	Wesfarmers Kleenheat Gas Pty Ltd, backed up by the large Wesfarmers group. Gas infrastructure is owned by ATCO Gas and distributed by various vendors including Wesfarmers Kleenheat Gas. A new supply agreement could be negotiated with a different supplier quickly in the unlikely event that Wesfarmers Kleenheat Gas Pty Ltd are unable to meet their agreement.
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Option 2	<p>1. Approves a one-year or two-year agreement with Wesfarmers Kleenheat Gas Pty Ltd, effective from 1 August 2019 in relation to the supply of gas for Bayswater Waves.</p> <p>2. Authorises the City's Chief Executive Officer to execute the agreement with Wesfarmers Kleenheat Gas Pty Ltd in relation to the supply of gas for Bayswater Waves.</p>
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Risk Category	Adopted Risk Appetite	Risk Assessment Outcome
Strategic Direction	Moderate	Low
Reputation	Low	Low
Governance	Low	Low
Community and Stakeholder	Moderate	Low
Financial Management	Low	Medium
Environmental Responsibility	Low	Low
Service Delivery	Low	Low
Organisational Health and Safety	Low	Low
Conclusion	Awarding a lesser period agreement provides a lower level of certainty of pricing into the future and exposes the City to a greater level of financial risk of price increases in the third year. This option, whilst a viable alternative is not recommended.	

Option 3	Continues with current agreement with supplier Kleenheat Gas Pty Ltd in relation to the supply of gas for Bayswater Waves on a 'month to month' basis after current contract expires on 30 June 2019.
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Risk Category	Adopted Risk Appetite	Risk Assessment Outcome
Strategic Direction	Moderate	Low
Reputation	Low	Low
Governance	Low	Low
Community and Stakeholder	Moderate	Low
Financial Management	Low	High
Environmental Responsibility	Low	Low
Service Delivery	Low	Low
Organisational Health and Safety	Low	Low
Conclusion	This option is available under the WALGA agreement, however the current pricing of \$6.11/ GJ is higher than the proposed pricing by Wesfarmers Kleenheat Gas Pty Ltd across the term of the agreement. This option is not recommended.	

Option 4	The City investigate other opportunities for water heating in relation to Bayswater Waves
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Risk Category	Adopted Risk Appetite	Risk Assessment Outcome
Strategic Direction	Moderate	Low
Reputation	Low	Low
Governance	Low	Low

Community and Stakeholder	Moderate	Moderate
Financial Management	Low	High
Environmental Responsibility	Low	Low
Service Delivery	Low	Moderate
Organisational Health and Safety	Low	Low
Conclusion	Other options for water heating include geo-thermal and heat pumps. Both of these options would require significant capital investment. Recent projects at other recreation facilities have encountered significant issues with budget overruns and performance deficits which have had to be supplemented with traditional gas heated water. This would increase the risk of negative sentiment from the community and other stakeholders with potential service interruptions and inconsistent temperatures. This option can be investigated in the future as technology improves. This option is not recommended.	

FINANCIAL IMPLICATIONS

The following financial implications are applicable:

Item 1: Bayswater Waves Gas Supply

Asset Category: Operational Expense **Source of Funds:** Municipal

LTFP Impacts: This is not itemised in the LTFP.

Notes: The Wesfarmers Kleenheat Gas Pty Ltd contract price does not include ATCO gas charges which are based on the time of utilisation of gas, making them difficult to predict. Budget allocations have been based on historical actual cost including the ATCO supply charge.

ITEM NO.	CAPITAL / UPFRONT COSTS (\$)	ONGOING COSTS (\$) ANNUAL		INCOME (\$)	ASSET LIFE (YEARS)	WHOLE OF LIFE COSTS (\$)	DRAFT 2019/2020 BUDGET (\$)
		MATERIALS & CONTRACT	STAFFING				
1	Nil	\$70,076.20	Nil	Nil	N/A	\$238,826.20	\$159,120

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme: Our Community

Aspiration: An active and engaged community

Outcome C1: A strong sense of community through the provision of quality services and facilities.

A three-year agreement with Wesfarmers Kleenheat Gas will allow for the continued operation of the heated pools and showers at Bayswater Waves. This is in line with the City providing quality providing services and facilities for an active and engaged community.

CONCLUSION

Option 1 is recommended having regard to value-for-money considerations and the analysis included in this report.

10.5 Sub Committee Reports

Nil.

COUNCIL RESOLUTION - ADOPTION BY EXCEPTION

That the recommendations relating to item 10.4.3 contained in the agenda be adopted by exception as per section 5.5 of the *City of Bayswater Standing Orders Local Law 2018*.

CR SALLY PALMER MOVED, CR GIORGIA JOHNSON SECONDED

CARRIED UNANIMOUSLY: 9/0

11. MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN**11.1 Cr Elli Petersen-Pik - Possible Lease of Lot 102, 207 Guildford Road Maylands**

In accordance with clause 5.3(1) of the City of Bayswater's *Standing Orders Local Law 2018*, Cr Elli Petersen-Pik raised the following motion:

"That Council requests the Chief Executive Officer to write to the owner of Lot 102, 207 Guildford Road, Maylands to:

- 1. Enquire whether the owner would be interested in collaborating with the City in activating this key site within the Maylands Activity Centre for community purposes, by leasing the land for a peppercorn rent to the City in the near future.***
- 2. Request that the owner, at the very least, make significant improvements to the neglected front area of the lot (outside the fenced-off area), so that it reduces the negative impact of the vacant site on the town centre. These works could include fixing the broken low (brick) retaining wall fronting the footpath, and contracting a gardener to landscape and maintain the existing adjacent garden beds."***

MATERIAL FACTS

In accordance with clause 5.3(3) of the City of Bayswater *Standing Orders Local Law 2018*, the Chief Executive Officer may provide relevant and material facts and circumstances pertaining to the notice of motion on such matters as policy, budget and law.

The subject site at Lot 102, 207 Guildford Road Maylands is a notable vacant site within the Maylands town centre. Activation of key vacant sites is an action to be implemented in the adopted Maylands Town Centre Place Activation Plan and there have been community requests for temporary activities on the subject site in the past.

During March and April 2018 students studying Urban Regeneration at Curtin University used the subject site as a practical example of placemaking considerations. The students' project focused on possible temporary uses on the subject site to assist in the activation of the property.

OFFICER'S COMMENT

The City has been in discussion over the past year with representatives of the land owner who had indicated some support for a peppercorn lease to the City until the long term future of the site is determined. If the City did lease the site, it would enable the City or the community to undertake some temporary activation of the site until it is redeveloped.

However, the land owner has recently had a change of direction and they have commenced a strategic review of their portfolio, including the subject site. The City has now been advised that they will not be in a position to enter into any arrangements like a peppercorn lease for activation projects until they have completed this review.

LEGISLATIVE COMPLIANCE

Nil.

FINANCIAL IMPLICATIONS

There is minimal cost to write the letter to the owner. Costs associated with the activation would need further consideration in the future.

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme: Our Built Environment
Aspiration: A quality and connected built environment.
Outcome B1: Appealing streetscapes.
Outcome B3: Quality built environment.
Theme: The Local Economy
Aspiration: A business and employment destination.
Outcome E2: Active and engaging town and city centres.

Temporary use of this vacant site would improve the appearance and activity in a prominent location in the Maylands town centre.

CONCLUSION

Representatives of the land owner have indicated that they are not open to a peppercorn lease to the City at this time. However, a letter from the City will formally indicate the Council and community interest in this key site being improved and activated.

VOTING REQUIREMENT

Simple Majority required.

COUNCIL RESOLUTION

That Council requests the Chief Executive Officer to write to the owner of Lot 102, 207 Guildford Road, Maylands to:

- 1. Enquire whether the owner would be interested in collaborating with the City in activating this key site within the Maylands Activity Centre for community purposes, by leasing the land for a peppercorn rent to the City in the near future.**
- 2. Request that the owner, at the very least, make significant improvements to the neglected front area of the lot (outside the fenced-off area), so that it reduces the negative impact of the vacant site on the town centre. These works could include fixing the broken low (brick) retaining wall fronting the footpath, and contracting a gardener to landscape and maintain the existing adjacent garden beds.**

CR ELLI PETERSEN-PIK MOVED, CR CATHERINE EHRHARDT SECONDED

CARRIED UNANIMOUSLY: 9/0

11.2 Cr Chris Cornish Deputy Mayor - Morley Anti-Social Behaviour

In accordance with clause 5.3(1) of the City of Bayswater's *Standing Orders Local Law 2018*, CR Chris Cornish, Deputy Mayor raised the following motion:

“That the City liaises with Amber-Jade Sanderson MLA and form a working group to discuss required actions to reduce the anti-social behaviour in the Morley commercial precinct. The working group shall include Ms Sanderson, Central Ward Councillors, appropriate City Officers and other stakeholders such as a representative(s) from the WA Police, Galleria shopping centre, Coventry Village, relevant community service organisations, and other local MLAs as required.”

MATERIAL FACTS

In accordance with clause 5.3(3) of the City of Bayswater *Standing Orders Local Law 2018*, the Chief Executive Officer may provide relevant and material facts and circumstances pertaining to the notice of motion on such matters as policy, budget and law.

During the first six months of 2018, 22 incidents of anti-social behaviour and nine incidents of graffiti were reported to the City in the vicinity of Progress Street and Bishop Street in Morley. During the same period in 2019, nine incidents have been reported, representing a 59% decrease in reported incidents.

Data obtained from the Western Australia Police Force shows that 2154 anti-social, drug and property related offences were reported in the suburb of Morley for the 2017/18 financial year. To date this financial year, 1556 offences have been reported which demonstrates a 28% decrease on the previous 12 months.

OFFICER'S COMMENT

The City acknowledges that this complex issue requires a holistic approach involving a range of government and non-government resources. It should be noted that anti-social behaviour generally involves criminal activity, for which the Western Australia Police Force is the lead agency.

The City is committed to ensuring the Morley commercial precinct is a place in which all community members can feel safe whilst going about their activities. To this end the City continues to ensure it develops and maintains relationships with stakeholders who are also invested in reducing anti-social behaviour across the City and who can offer alternate solutions and diversionary opportunities prior to criminal offending commencing. These key stakeholders include Western Australia Police (Morley Police, statewide and District Crime Prevention, Aboriginal Advisory and Youth Offending departments), Department of Communities, management of Morley Galleria shopping centre and Coventry Village, Nyoongar Outreach Services, local retailers and business proprietors. The City is addressing anti-social behaviour in Morley in the following ways:

- The City has adopted a place management approach to improving the amenity of the area. This includes City officers working with community groups, businesses and individuals to undertake town centre improvement projects. Crime Prevention Through Environmental design (CPTED) principles are considered within all place-based projects to reduce crime opportunities through design and management of the built and landscaped environment.
- Regular engagement with the Morley business community is undertaken jointly by the City's place management and security officers to appreciate and identify crime and safety concerns and key issues. This enables the City to understand ground level issues and trends and respond to them appropriately in partnership with Western Australia Police, Nyoongar Outreach Services and other relevant stakeholders.

- The Rangers and Security officers conduct regular vehicle and foot patrols focused on providing a visible crime deterrence presence and enhance the feeling of safety and security within the commercial area. Regular actions are also focused on compliance related matters including enforcement of parking local laws, removing abandoned shopping trolleys and addressing littering.
- The Western Australia Police Force conduct regular targeted patrols of the Morley commercial precinct and frequently conduct targeted operations involving external resources. In December 2018 the City partnered with Western Australia Police, the Morley Galleria and Football West to engage with youths in a street/freestyle football initiative held at the Galleria shopping centre.

Should the City forms and facilitates a working group as specified in this motion with existing resources, dependent of the volume of administrative and investigative support required, staff allocated to other crime prevention and community safety and place management strategies may need to decrease and/or the progress of strategies including community education regarding dog exercise areas and engagement may need to be extended.

Accordingly Council advice is sought on the level of support needed to initiate the working group and the potential scope and outcomes expected to be achieved.

LEGISLATIVE COMPLIANCE

Not applicable.

FINANCIAL IMPLICATIONS

The financial implications of establishing the proposed working group are unable to be quantified at this time as the scope and outcomes of the working group are yet to be defined and the resource commitment from the City is unknown.

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme:	Our community.
Aspiration:	An active and engaged community
Outcome C1:	A strong sense of community through the provision of quality services and facilities

One of the City's strategies is to deliver a safety service, which builds a strong sense of community safety. It is considered that the reduction in anti-social behaviour that is currently being achieved within the Morley core commercial area facilitates that this strategy is being fulfilled.

CONCLUSION

In view of the reduction in anti-social behaviour that is currently being achieved within the Morley core commercial area it is recommended that the City continues to partner with the community and stakeholders to identify and implement practical crime prevention strategies to assist in further reducing anti-social behaviour.

VOTING REQUIREMENT

Simple Majority required.

COUNCIL RESOLUTION

That the City liaises with Amber-Jade Sanderson MLA and form a working group to discuss required actions to reduce the anti-social behaviour in the Morley commercial precinct. The working group shall include Ms Sanderson, Central Ward Councillors, appropriate City Officers and other stakeholders such as a representative(s) from the WA Police, Galleria shopping centre, Coventry Village, relevant community service organisations, and other local MLAs as required.

CR CHRIS CORNISH, DEPUTY MAYOR MOVED, CR SALLY PALMER SECONDED

CARRIED UNANIMOUSLY: 9/0

11.3 Cr Dan Bull, Mayor - Street Parties

In accordance with clause 5.3(1) of the City of Bayswater's *Standing Orders Local Law 2018*, Cr Dan Bull, Mayor raised the following motion:

“That Council requests the Chief Executive Officer to develop a simplified process to enable residents to conduct open street events”

MATERIAL FACTS

In accordance with clause 5.3(3) of the City of Bayswater *Standing Orders Local Law 2018*, the Chief Executive Officer may provide relevant and material facts and circumstances pertaining to the notice of motion on such matters as policy, budget and law.

Street parties are common across Australia and occur where either a portion or whole of a street is closed to allow neighbours to gather together. These often occur for specific events such as a birthday or annually such as a Christmas party.

There are a number of benefits associated with street parties including:

- Increased sense of belonging in the community;
- Introducing new neighbours to the community;
- Development of relationships between residents;
- Helping with safety and crime prevention by knowing who lives where; and
- Encouraging neighbours to look after each other and the neighbourhood.

A Traffic Management Plan will be required when blocking of a street. If the closure is a simple one, a template Traffic Management Plan will be acceptable. For more complex road closures, a Traffic Management Plan will need to be prepared by an accredited company.

OFFICER'S COMMENTS

A Street Party Events Kit could be developed, such as those produced by the City of Vincent (<https://www.vincent.wa.gov.au/Profiles/vincent/Assets/ClientData/Documents/Community/StreetParty/0086 - Vincent Play Street - A4 Guide - v9.pdf>) and City of Whitehorse (<http://www.whitehorse.vic.gov.au/IgnitionSuite/uploads/docs/StreetPartyKit.pdf>).

The Kit can include critical information to residents such as timeframes, necessary approvals, information on traffic management plans required and any available community funding. It is suggested that this could be contained in an interactive PDF on the City's website.

LEGISLATIVE COMPLIANCE

Nil

FINANCIAL IMPLICATIONS

Officer time will be required to initially develop the Street Party Events Kit. Subsequent officer time will be needed on an as-required basis to assess applications and provide assistance to residents.

STRATEGIC IMPLICATIONS

In accordance with the City of Bayswater Strategic Community Plan 2017-2027, the following applies:

Theme: Our Community
Aspiration: An active and engaged community
Outcome C1: Deliver community programs that encourage community interaction and participation

The creation of the Street Party Events Kit will encourage the community to interact and participate with each other by holding a Street Party.

CONCLUSION

The creation of a Street Party Events Kit will encourage a sense of unity among community members and an easy to use, interactive PDF can be created on the City's website to assist in this process.

VOTING REQUIREMENTS

Simple Majority required.

COUNCIL RESOLUTION

That Council requests the Chief Executive Officer to develop a simplified process to enable residents to conduct open street events.

CR DAN BULL, MAYOR MOVED, CR CATHERINE EHRHARDT SECONDED

CARRIED UNANIMOUSLY: 9/0

12. QUESTIONS FROM MEMBERS WITHOUT NOTICE

COUNCILLOR / QUESTION		RESPONSE / ACTION
Cr Chris Cornish		Cr Dan Bull, Mayor
1.	<i>Can I please be informed of the number of recorded accidents at the Bath Road Morley Drive intersection over the last three years?</i>	The question will be taken on notice.
2.	<i>The EMRC has a healthy balance sheet. When can the City expect to receive a dividend from our shareholding?</i>	The question will be taken on notice.
Cr Lorna Clarke		Doug Pearson, Director Works and Infrastructure
3.	<i>I just wanted to ask again about the status of our 40km/h signs in the Bayswater town centre?</i>	The last advice we received from Main Roads WA was that it would be August.
Cr Dan Bull, Mayor		Doug Pearson, Director Works and Infrastructure
4.	<i>I'll just quickly follow up. So since the last time this question has been asked, has the City liaised with Main Roads WA again?</i>	No.
Cr Sally Palmer		Cr Dan Bull, Mayor
5.	<i>I'm repeating myself, but I promised Facebook I would. Has the City, and can the City, liaise with the businesses within the Galleria area to have a good rapport in somehow getting rid of all the trolleys and rubbish along Russell Street and around the pathways, where people can feel proud of walking?</i>	The question will be taken on notice.
Cr Giorgia Johnson		Doug Pearson, Director Works and Infrastructure
6.	<i>Just a follow up question for Councillor Clarke's question – the 40km/h zone sign's August this year?</i>	Yes, that's my belief.

13. NEW BUSINESS OF AN URGENT NATURE

Nil.

14. MEETING CLOSED TO THE PUBLIC**14.1 Matters for Which the Meeting May be Closed**

Nil.

14.2 Public Reading of Resolutions That May be Made Public

Nil.

15. CLOSURE

There being no further business to discuss, the Chairperson, Cr Dan Bull, Mayor, declared the meeting closed at 7:40pm.