

Character Protection Areas Policy

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City of Bayswater

Character Protection Areas Policy

Maylands North | Mount Lawley | Bayswater

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Purpose

To provide parameters for new development within Character Protection Areas (CPA) to ensure that new development in Character Protection Areas is sympathetic with the character, rhythm, scale and visual amenity of existing residential streetscapes in the three Character Protection Areas.

Objective

The objectives of this policy are to:

1. Ensure that new development is sympathetic to the unique character and materiality of the streetscape.
2. To retain the open character of streetscapes and landscaped gardens.
3. Ensure the siting, height, scale, massing and materiality of new development including additions to existing buildings is appropriately located, scaled and designed so not to visually dominate or detract from the streetscape qualities of the areas.
4. Ensure the built form of new development is sympathetic to the scale and form of traditional character homes within each of the three Character Protection Area.
5. Carports, garages, vehicle access and carparking do not dominate the streetscapes or adversely impact the unique character or presentation of the dwellings which they serve.
6. Ensure additions are sympathetic with the original building.
7. Ensure alterations integrate harmoniously with the original building so that alterations do not detract from the existing building.
8. Ensure the built form and architectural expression of multiple dwelling developments preserves the character and subdivision pattern of the Character Protection Areas and is sympathetic to the character of traditional character homes in the street.

Scope

This policy guides proposals and assists in the assessment of new residential development and alterations and additions to single houses, grouped dwellings, multiple dwellings; that require development approval in the following areas:

- Character Protection Area 1: Maylands North
- Character Protection Area 2: Mount Lawley
- Character Protection Area 3: Bayswater

Background

One important way by which the local community identifies itself is its cultural heritage, mainly represented by the built environment. The local community wishes to ensure that development in certain areas is sympathetic to the local character.

The character of these residential areas can be simply expressed as their streetscape appeal; this includes front fences and gardens, the scale and form of existing buildings, roofscapes, heritage places and trees that combine to form the street's character. Three Character Protection Areas (CPA) were established and are designated specific guidelines for these areas to ensure new development is sympathetic to the local character of the respective areas.

Development applications must consider the Character Statement for the relevant CPA and comply with the policy.

Definitions

For the purposes of this policy -

Bulk means the combined effect of the arrangement, volume, size and shape of a building or group of buildings.

Character is defined by the combination of the particular characteristics or qualities of a place. These include the rhythm, scale and visual amenity of dwellings which contribute to the existing streetscapes.

Character Protection area means a group of properties that are recognised to collectively form a streetscape with defining features and characteristics, which may include form and scale, materiality, style or repetition.

Character statement means a concise and distilled summary of the characteristics of the place. It is a statement summarising each aspect of character, following an assessment of character. It underpins decisions about statutory provisions.

Context means the specific character, quality, and physical characteristics of a building's setting.

Form as it relates to the form of a building, is its overall shape and volume and the arrangement of its parts.

Mass means the size and volume of a building.

Predominant setback of an existing residence comprises the setback from the street boundary of the major portion of the front façade. It excludes projecting verandahs, bay windows, garages and carports.

Primary street setback is the predominant streetscape pattern in the immediate locality. This is to be taken as the average setback of the two dwellings on each side of the property the subject site. This average shall be measured to the predominant street setback lines of the adjacent dwellings (ie not the line of the verandahs or carports).

Scale means the size of a building and its proportional relationship with its surrounding dwellings in the locality.

Streetscape means all of the visual elements which inform the perception of a street; these include the road, front fences and gardens, existing buildings scale and form, roofscapes, trees and open spaces, that combine to form the street's character.

Sympathetic means a design outcome that respects its context. It would not be identical to the traditional character homes, nor would it intrude on their presence in the streetscape. It would be of a similar or lesser scale.

Traditional Character Home is a building used as a residence generally built before 1950 in a traditional style.

Visual Amenity means all those visual factors which assist in forming the character of an area and contributing to its current and likely future amenity.

Visually Permeable in reference to a wall, gate, door, screen or fence within the scope of this policy, is the vertical surface, when viewed directly from the street or other public space, has continuous vertical or horizontal gaps that in total result in being 75% open.

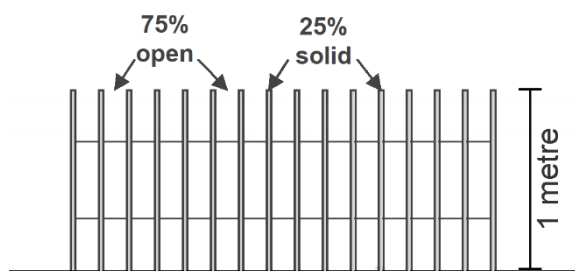


Image 1. Open style fences.

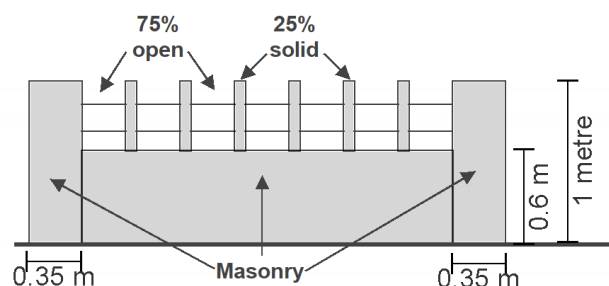


Image 2. Solid masonry fences with pillars and infill.

Related Legislation

- Town Planning Scheme No.24
- *Planning and Development (Local Planning Schemes) Regulations 2015*
- Residential Design Codes of Western Australia

Document details

Relevant delegations TP-D01 Local Planning Schemes

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Strategic link Goal E1 and Goal L4

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Resolution 10.5.1.9

Next review due 28 January 2029

1. Character Protection Areas - Character Statements

Character Protection Area 1: Maylands North

Figure 1



Maylands North Character Protection Area (CPA) is located in the south west section of the City of Bayswater. The CPA is bound by adjacent local government boundaries to the west and south, Coode Street and Railway Parade to the east and Sussex Street to the north.

The area around Maylands was inhabited by the Wadjuk Noongar People thousands of years before the Swan River Colony established in 1829. The subdivision and settlement of Maylands began around the year of 1900 following the construction of the Ferguson Foundry (1898). The foundry supplied the water pipes required for C.Y. O'Connor's Goldfields Water Supply Scheme (gold fields pipeline) and attracted many young families to the area.

The area retains a high percentage of places that positively contribute to the streetscape. The area contains good examples of brick and timber bungalows including the architectural styles of Federation Bungalow, Federation Timber Bungalow and Federation Timber Workers Cottage.

The landform rises from a low in the east (Railway Parade) to a high in the west (Carrington and York Street).

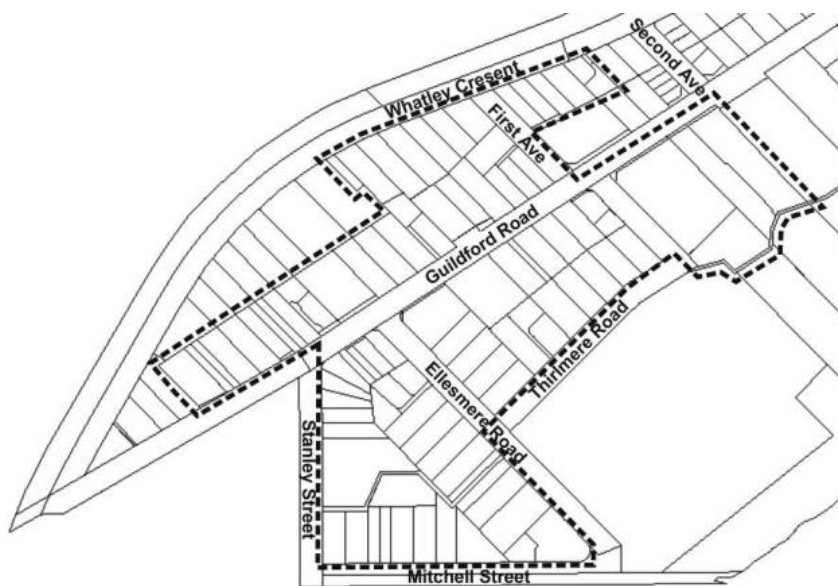
The predominant building form, materials and streetscape characteristics in the area are:

- Single storey with some two storey.
- Asymmetrical facades and single fronted facades.
- Hip and gable roof forms and tiled and corrugated steel roof cladding.
- Visible brick roof chimneys.

- Face brick with tuckpointing, rendered brick and timber walls. Some masonry dwellings with limestone foundations.
- Front entry porches and verandahs, some with return verandahs.
- Timber detailing to verandahs.
- Low fence heights with face brick, rendered brick, brick pier and iron infill panels to fences. There are some timber and some stone fences.
- Grass to front yards with perimeter planting.
- Grass verge and mature street trees.
- Concrete and brick paved driveways to one side of the lot.

Character Protection Area 2: Mount Lawley

Figure 2



Mount Lawley Character Protection Area (CPA) is located in the south west corner of the City of Bayswater. The CPA is bound by local government boundaries to the west and south, the railway to the north and the suburb of Maylands to the east.

The area around Mount Lawley was originally inhabited by the Wadjuk Noongar People thousands of years before the Swan River settlement established in 1829. This portion of Mount Lawley was subdivided for residential lots under the management of Robert Thompson Robinson and Samuel Copley. Robinson built his own home 'Killowen' in 1903 at the base of Ellesmere Road overlooking the Swan River which is now a hospital. The subdivision was aimed at the affluent members of the community and began development in 1910.

The seven streets in the CPA retain a high percentage of places that positively contribute to the streetscape. The area contains some good examples of brick bungalows including the architectural styles of Federation Bungalow and Federation Queen Anne Bungalow. There are a number of places with strong inter war influences including the Inter War Domestic Revival architectural style.

Guildford Road and Whatley Crescent are both high traffic volume roads that influence the character of the area. These streetscapes are predominantly open with single storey dwellings dating from the late

nineteenth and early twentieth century through to more recent development. The verge and a number of front setbacks of Guildford Road are concrete or brick paved. The landmark building, Albany Bell Castle, is set well back from the Guildford Road boundary.

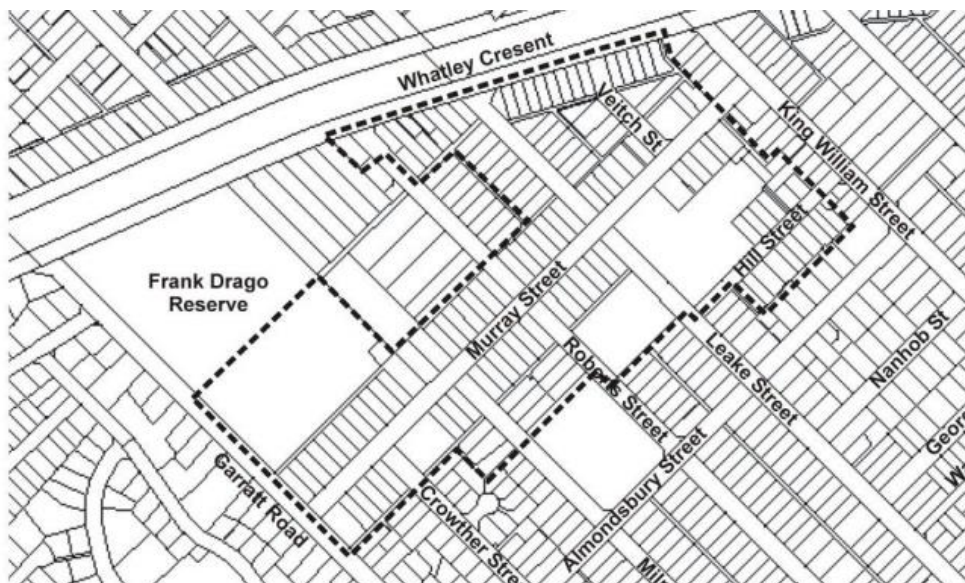
The predominant building form, materials and streetscape characteristics in the area are:

- Single storey with some two storey.
- Hip and gable tiled roof forms. There are some corrugated steel roofs, especially north of Guildford Road.
- Face brick or rendered brick walls, some with limestone foundations.
- Front entry porches and verandahs, some with return verandahs.
- Face brick, rendered brick, brick pier and iron infill panels to fences. There are some timber and some stone fences. Some higher brick and rendered brick fences to Guildford Road.
- Grass to front yards with perimeter planting.
- Grass verge and mature street trees.
- Concrete and brick paved driveways to one side of the lot.

Whatley Crescent retains grass verges, front boundary fences and perimeter planting to the front yards.

Character Protection Area 3: Bayswater

Figure 3



Bayswater Character Protection Area (CPA) is located in the south west section of the City of Bayswater. The CPA bound by Garratt Road to the south, Whatley Crescent to the west, the rear boundary of commercial properties to King William Street to the north and a line to the east from the rear of properties to Hill Street extending to Garratt Road.

Bayswater was originally inhabited by the Wadjuk Noongar people thousands of years before the Swan River Colony was established in 1829. This area remained undeveloped until 1881 when the Perth to Guildford railway line was built. This area was largely used for gardening and farming with houses spread

out over the Bayswater area. The opening of the Midland Railway Workshops fuelled greater suburban growth in Bayswater between 1904 and 1914.

The area retains a high percentage of places that positively contribute to the streetscape. The area contains some good examples of brick and timber bungalows including the architectural styles of Federation Bungalow, Federation Timber Bungalow, Federation Timber Workers Cottage and Inter War California Bungalow.

The landform rises from a low point in the north (King William Street) to a high at Roberts Street. The predominant building form, materials and streetscape characteristics in the area are:

- Single storey with some two storey.
- Asymmetrical facades and single fronted facades.
- Hip and gable roof forms and tiled and corrugated steel roof cladding.
- Face brick, rendered brick and timber walls. Some masonry dwellings with limestone foundations.
- Front façade verandahs, some with return verandahs. Some entry porches.
- Awnings to some windows.
- Face brick, rendered brick, timber, stone, brick pier with iron or timber infill panels to fences. There are some timber post and rail with wire infill fences and some dwellings with no fence to the front boundary. Some high brick fences to Whatley Crescent.
- Grass to front yards with perimeter planting.
- Grass verge and mature street trees.
- Concrete and brick paved driveways to one side of the lot.
- Numerous dwellings have access to rear laneways.

2. Requirements for New Development

New buildings within a character protection area are to be sympathetic with the existing traditional character of the area and should not detract from existing traditional character homes. A respectful design approach gives special consideration to the siting, scale, architectural style and form, materials, colours and finishes, front fences, and front gardens.

The following provisions apply to proposed single houses, grouped dwellings and subdivisions. Additions and alterations are assessed under a separate clause 3.

Configuration

2.1 Subdivision Pattern

- (a) In areas where the traditional subdivision pattern contributes to the character of the streetscape, new development are to respect and respond to this pattern.
- (b) The existing arrangement of lots, particularly the length of street frontages, is to be maintained
- (c) Amalgamation will not be supported in CPAs.

2.2 Building Orientation

- (a) Building orientation shall be consistent with the existing street pattern (that is at right angles to the street).

Streetscapes

2.3 Open Streetscapes

- (a) Dwellings are to interact with the public domain through:
 - (i) Provision of verandah or porch ~~provided~~ to the front of the dwelling that facing the primary street.
 - (ii) Avoiding blank walls, heavy planting, screen walls, or garages and enclosed carports in the front setback area.
 - (iii) Clearly demarcating the property boundary by fencing or planting consistent with the existing character of the streetscape.

2.4 Fences

- (a) Open Fences:
 - (i) Fences on the front boundary shall be visually permeable (minimum 75% open) to a maximum height of 1m above the adjoining pavement level.
- (b) Masonry Fences:
 - (i) Solid masonry fences are permitted to a maximum height of 600mm from the adjoining pavement level and shall be visually permeable above (minimum 75% open).
 - (ii) Masonry piers shall be limited to a maximum height of 1m above the adjoining pavement level and limited to a maximum width of 350mm x 350mm.

(c) Fences on Sloping Sites:

- (i) Masonry fences on sloping site shall be a maximum height of 750mm above the adjoining pavement level.
- (ii) Masonry piers shall be limited to a maximum height of 1m above the adjoining pavement level and limited to a maximum width of 350mm x 350mm.

(d) Materials:

- (i) Fibre cement and metal sheeting materials will not be supported.

(e) Meter Boxes:

- (i) Where meter boxes are incorporated into front fences they shall not be visible directly from the street.

2.5 Retaining walls and Topography

- (a) New dwellings shall respond to the natural features of the site. Cutting and filling, particularly in locations directly visible from the street, shall be kept to a minimum.
- (b) Retaining walls within the front setback area are to be stepped vertically if they are more than 0.5m high to reduce their visual impact.

2.6 Landscaping

(a) Existing Mature Trees

- (i) Existing mature trees on the site shall be retained wherever possible.

(b) Landscaping of Front Gardens

- (i) Landscape plans are to include soft landscaping in the front setback areas to maintain the landscape character of front gardens in the locality.

Street setback

2.7 Street Setbacks

(a) Primary Street Setback

- (i) Buildings (excluding carports, unenclosed porches, balconies, and verandahs) shall be set back from the primary street boundary at the average calculated setback of the two dwellings on each side of the subject site.
- (ii) The average calculated setback is measured from the primary street boundary to the predominant street setback lines of the two dwellings on each side of the subject site (ie not to the line of the verandahs, porches or carports) (See [Figure 5](#)).

(b) Open Entry Porches and Verandahs

- (i) Open entry porches and verandahs directly visible from the street shall be limited to single storey structures and shall be a maximum height of 3.5m.
- (ii) Entry porches and verandahs can protrude 2.5m into the primary front setback provided it is reflective of existing porches and verandahs in the immediate locality (ie occurs in at least two dwellings of the two either side of the subject site and the three across the street) and will not dominate the appearance of the dwelling (See [Figure 5](#)).

(iii) Entry porches and verandahs shall be open on three or more sides.

(c) Upper Floors

(i) Upper floors shall be setback a minimum of 4m from the primary street setback line of the proposed dwelling (See [Figure 6](#)).

(d) Balconies

(i) Open upper floor balconies shall be setback behind primary street setback line, are not to dominate the street elevation of the dwelling and be limited to 40% of the width of the subject site (See [Figure 6](#)).

(ii) Balconies shall incorporate architectural detailing as outlined in clause 2.13.

2.8 Location of Entries

(a) Front doors shall face the street. Entry doors located at the side of the dwelling may be considered only where the entry arrangements are clear and accessed via a porch or verandah easily visible from the street.

2.9 Boundary Walls

(a) Boundary walls shall be setback a minimum of 1m behind the primary street setback line or the front wall of the dwelling where this is setback beyond the primary street setback line.

Built form

2.10 Bulk, Form and Scale

(a) Development directly visible from the street shall have a continuation of plate height and be of similar built form proportions to traditional character homes within the CPA.

(b) Building height and bulk shall be distributed appropriately on the development site to protect the visual amenity of traditional character homes on adjoining lots and maintain the visual integrity of the streetscape.

(c) Development shall be of high quality design, and be articulated to breakdown their perceived bulk and establish a scale appropriate to existing dwellings in the locality.

(d) The visual bulk of two storey buildings should be minimised through articulation of larger wall lengths, and the stepping back of upper storey walls from the ground floor elevation.

2.11 Roof Pitch and Form

(a) Hipped or gabled roof forms are preferred roof forms.

(b) The scale of roof elements should be comparable with the scale of existing roofs in the locality.

(c) Gabled or hipped roof forms consisting of elements which break up the scale of roofs are to be provided. Roof elements should be consistent with the Character Protection Area and may include overhanging eaves, cover over entrances, detailing to eaves and canopies over windows.

(d) Other roof forms shall only be considered where it can be demonstrated that the roof form proposed will not detract from the established streetscape.

2.12 Materials

- (a) Dwellings are to recognise the characteristic materials, textures and colours used in the surrounding traditional character homes within the CPA. These should be re-interpreted and incorporated as part of the new development.
- (b) Materials and colours of surrounding traditional character homes should not be simply copied but used as a point of reference. Modern materials can be used if their proportions and details are sympathetic to and do not detract from the surrounding traditional character buildings. Colour, texture and tonal contrast can be unifying elements.
- (c) A limited palette of materials shall be used to provide visual interest and articulate the building form.
- (d) The outcome of the total composition shall make a positive contribution to the existing streetscape.

2.13 Detailing

- (a) Detailing should comprise the direct and simple expression of architectural elements and be provided to the front and side elevations of the building.
- (b) New development is to use detailing of existing traditional homes as a point of reference.
- (c) Detailing of new development shall not result in a development that intrudes on adjoining traditional character homes nor dominate the streetscape.
- (d) The relationships of solids to voids shall reflect the immediate locality and detailing shall be used to provide identity and highlight important components such as entrances, chimneys, balconies, and to screen service areas.

Carparking and vehicle access

2.14 Access and car parking

- (a) Vehicle parking shall be located at the rear of the property and accessed via a right of way where a right of way is present and rights of access exist.
- (b) Where no right of way is available, access to vehicle parking shall be taken from the secondary street. Where a secondary street is not available, access to vehicle parking may be permitted from the primary street.
 - (i) Where driveways to primary or secondary street are permitted, they are to be provided as follows:
 - Single garages and carports are to be accessed from a single crossover to the street with a maximum width of 3.0m.
 - Double garages and carports are to be accessed from a single crossover to the street of a width of 4.8m.
- (d) Grouped dwelling vehicle access shall meet the following:
 - (i) The alignment of access ways should be varied to avoid the 'gun barrel' effect.
 - (ii) Parking areas shall be located within developments and not in the front setback area.
 - (iii) Parking areas shall be screened from the street by buildings or landscaping.

- (iv) Parking provision for more than six bays shall be broken up with trees, buildings, or different surface treatments.

Carport and Garages

2.15 Carports

- (a) Where access off a right of way is not possible carports:
- (i) May be located within the street setback area provided they are open on all sides (except where they adjoin the dwelling) and shall be of simple and unobtrusive design to ensure they do not obscure the view of the existing dwelling from the street.
 - (ii) Carports proposed as part of a new dwelling are encouraged to be incorporated under the roof of the proposed dwelling at the same setback as the new dwelling.
 - (iii) Carport additions shall be independent of the existing dwelling.
 - (iv) Where the primary street frontage of a lot is 12m or less only single width carports shall be permitted.
 - (v) Roofs to carports shall be 'light weight' in nature incorporating:
 - flat or skillion (with low pitch) roof forms so as to not obscure the view of the existing dwelling from the street.
 - The fascia of the carport shall match the line of the fascia of the existing dwelling verandah.
 - Posts to the carports shall be a maximum width of 90mm*90mm.
 - (vi) A pitch or gable roof form to carports may be considered on a case by case basis and shall be:
 - Unobtrusive in design and not obscure the view of the existing dwelling from the street.
 - Infill panels or closing in of gable ends are not permitted. Roof pitches are to match the existing dwelling.
 - While the underside of roofs may be lined, flat ceilings are not permitted.
 - (vii) Roller doors, tilt doors, and solid gates are not permitted for any carports located within the street setback area.
 - (viii) Materials and colours are to be compatible with the dwelling and not detract from the appearance for the dwelling.

2.16 Garages

- (a) Where access off a right of way is not possible garages:
- (i) Shall be integrated into the development and be setback a minimum of 1m behind the line of the primary setback line of the dwelling (excludes verandahs and entry porches).
 - (ii) The form and materials of garages shall meet the 'Built Form' requirements of the Policy (clause 2.10 – 2.13).
 - (iii) If a garage is provided no carport shall be permitted in the front setback area.
 - (iv) Garage additions where there is an existing building on the subject site are not assessed under this clause. Garage additions are to be assessed under clauses 3.1, 3.3, and 3.5.

Fixtures and facilities

2.17 Air Conditioning Equipment and Plant, Satellite Dishes and Solar Panels

- (a) Air conditioning equipment, plant and satellite dishes shall be located in positions where they are not directly visible from the street.
- (b) Solar panels are permitted. However where practicable they shall be located in positions which minimise any undue impact on the streetscape.

Relationship with the R-Codes

2.18 Relationship with the R-Codes

- (a) Residential Design Codes Volume 1 (R-Codes V1) apply. Where there is a contradiction between this Policy and the R-Codes V1, the provisions within this Policy prevails.

3. Requirements for Additions and Alterations to Existing Dwellings

When altering or adding to a place with existing traditional character, the goal is for an outcome that does not reduce the character of the place, rather enhances it.

Additions and Alterations

3.1 Ground Floor Additions

- (a) Ground floor additions to an existing dwelling, including garage additions, shall be setback a minimum of 2m from the primary setback line (excluding unenclosed carports, porches and verandahs).
- (b) The use of links, courtyards and breezeways are encouraged for additions to traditional character homes. These minimise the impacts on the existing dwelling and provide improved internal and external living conditions (See Figure 7); alternatively additions which are contiguous with the existing dwelling should seek to minimise the impact on the existing dwelling (See Figure 7).
- (c) Additions shall not detract from the important elements of the existing building, its setting, the balance of composition and relationship with its surrounding streetscape.
- (d) Additions shall be sympathetic of its siting, bulk, form, scale, character, colour, texture and material; are similar to the existing fabric, but imitation should be avoided; and not intrude on existing traditional character homes in the immediate locality.
- (e) Unenclosed carports, porches and verandahs shall meet clauses 2.7 (b) – Open Entry porches and 2.15 – Carports.

3.2 Second Storey Additions

- (a) Second storey additions shall be setback:
 - a minimum 4 metres from the primary street setback as determined under clause 2.7(a); and
 - be located behind the roof ridgeline of the existing dwelling (See Figure 8).
- (b) Two storey extensions at the front of the existing dwelling that dominate the streetscape will not be supported (See Figure 8).
- (c) Second storey additions shall not detract from the important elements of the existing building, its setting, the balance of composition and relationship with its surrounding streetscape.
- (d) Second storey additions shall respect the existing building and traditional character homes within the street in relation to the siting, bulk, form, scale, character, colour, texture and material; and are similar to the existing fabric, but imitation should be avoided.

3.3 Additions not Visible from the Street

- (a) Additions not directly visible from the street may have a different character to the architectural style of the existing dwelling, including contemporary design, but shall be sympathetic to the form, scale, and bulk of the existing dwelling and development, and not intrude on existing traditional character homes in the immediate locality. Suitability of this clause is to be considered on a case by case basis as determined by the City.

3.4 Alterations

- (a) External Alterations shall integrate harmoniously with the original building so that alterations do not detract from the existing building.

3.5 The following additional clauses apply to additions to existing dwellings:

- | | |
|--|-------------------------------|
| 2.2 - Building Orientation | 2.3 – Open Streetscapes |
| 2.4 – Fences | 2.5 – Retaining walls |
| 2.6 – Landscaping | 2.8 – Location of Entries |
| 2.9 – Boundary walls | 2.10 – Bulk, form and scale |
| 2.11 – Roof pitch and form | 2.12 – Materials |
| 2.13 – Detailing | 2.14 – Access and car parking |
| 2.15 – Carports | 2.16 – Garages |
| 2.17 – Air Conditioning Equipment and Plant, Satellite Dishes and Solar Panels | |

Where there is an inconsistency, the provisions of clause 3 prevail.

3.6 Relationship with the R-Codes

- (a) Residential Design Codes Volume 1 (R-Codes V1) apply. Where there is a contradiction between this Policy and the R-Codes V1, this Policy prevails.

4. Requirements for Multiple Dwellings

If multiple dwellings are permitted within the CPA the following provisions shall apply.

New buildings within a character protection area are to respect and complement the character of the area. A respectful design approach gives special consideration to the siting, scale, architectural style and form, materials and finishes of the proposed development in relation to the CPA, and does not intrude on existing traditional character homes within the streetscape. New infill development are to respond sympathetically to the character values of the CPA.

Street Setback

4.1 Street Setback

- (a) Buildings shall be set back from the primary street boundary at the average calculated setback of the two dwellings on each side of the subject site.
- (b) The average calculated setback is measured from the primary street boundary to the predominant street setback lines of the two dwellings on each side of the subject site (ie not to the line of the verandahs, porches or carports) (See Figure 5).

Built Form

4.2 Built Form

- (a) The built form of multiple dwellings shall be articulated into perceptually differentiated components which reflect the scale of adjoining dwellings. That is walls, openings and roof planes are to be modulated in response to the scale of neighbouring buildings. Such forms are to have a vertical emphasis.
- (b) The ground floor of the development shall have a clear and direct relationship to the existing ground or street plane and entrances shall generally face the street.
- (c) Entries located at the side of the development shall be considered only where the entry arrangements are highly legible and accessed via a defined porch or verandah directly visible from the street.
- (d) Materials and details shall comply with clause 2.12 and 2.13 of this policy.

4.3 Roofs

- (a) Roof form and skyline shall be articulated by ridge and parapet lines, roof slopes, and punctuated by party walls, chimneys, skylights or other elements to break down the scale and the perceived height of the building. Roof forms facing the street shall be sympathetic to existing roofs in the immediate vicinity.

Carparking and vehicle access

4.4 Access and car parking

- (a) Multiple dwellings shall meet the following:
 - (i) The alignment of access ways should be varied to avoid the 'gun barrel' effect.
 - (ii) Parking areas shall be located within developments and not in the front setback area.
 - (iii) Parking areas shall be screened from the street by buildings or landscaping.
 - (iv) Parking provision for more than six bays shall be broken up with trees, buildings, or different surface treatments.

Landscaping

4.5 Landscaping

- (a) Landscaping in the front setback area shall include soft landscaping to maintain the landscape character of front gardens in the area. These areas shall generally retain existing ground levels within the front setback area.
- (b) New fences, garden walls, planting and landscape elements shall reflect the scale of such elements in the immediate area.

Fixtures and facilities

4.6 Air Conditioning Equipment and Plant, Satellite Dishes and Solar Panels

- (a) Air conditioning equipment, plant, satellite dishes and water tanks shall be located where they are not directly visible from the street or shall be adequately screened.

Relationship with the R-Codes

4.7 Relationship with the R-Codes

- (a) Residential Design Codes Volume 2 – Apartments (R-Codes V2) apply. Where there is a contradiction between this Policy and the R-Codes V2, this policy prevails.

5 Application for Development Approval

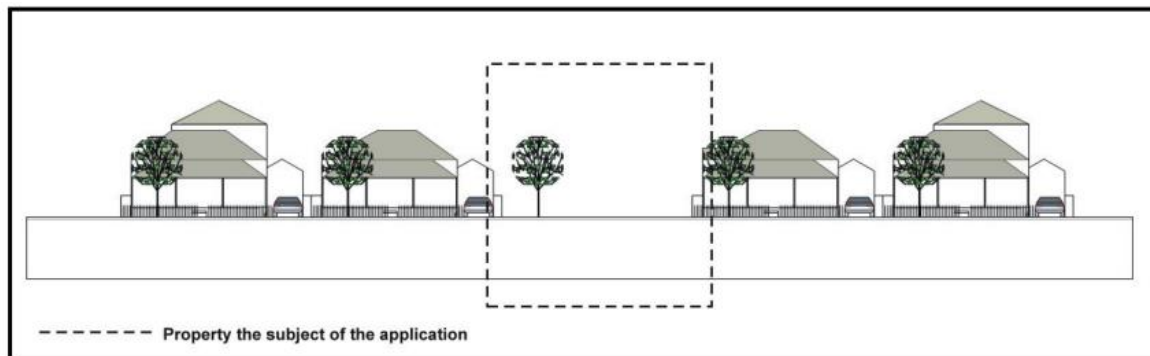
Application for Development Approval Requirements

5.1 Application Requirements

An application for planning approval for development of a lot within the Character Protection Areas is to be accompanied by the following information in addition to that required by the Town Planning Scheme:

- (a) Colour photographs of the elevations of the existing dwelling and development on the two adjoining properties on either side of the subject property.
- (b) A streetscape elevation of the proposed development which includes development on the two adjoining properties on either side of the subject property at a scale not less than 1:100 (See Figure 4).

Figure 4: Streetscape Elevation



- (c) A schedule of finishes of all materials which could be seen directly from the street. This includes front and side elevations of the proposed and existing development.
- (d) A landscape plan of the front garden area proposed indicating proposed fencing and identifying both materials (paving) and plant species. The landscape plan shall be provided in accordance with the City's Landscaping Guidelines.

5.2 Advertising of Applications

- (a) Where an application is made for planning approval to carry out development which does not comply with the relevant provisions of the Character Protection Area policy the City may advertise the application in accordance with the consultation provisions of the Residential Design Codes.

Figures

Figure 5 – Calculating the Primary Street Setback Line

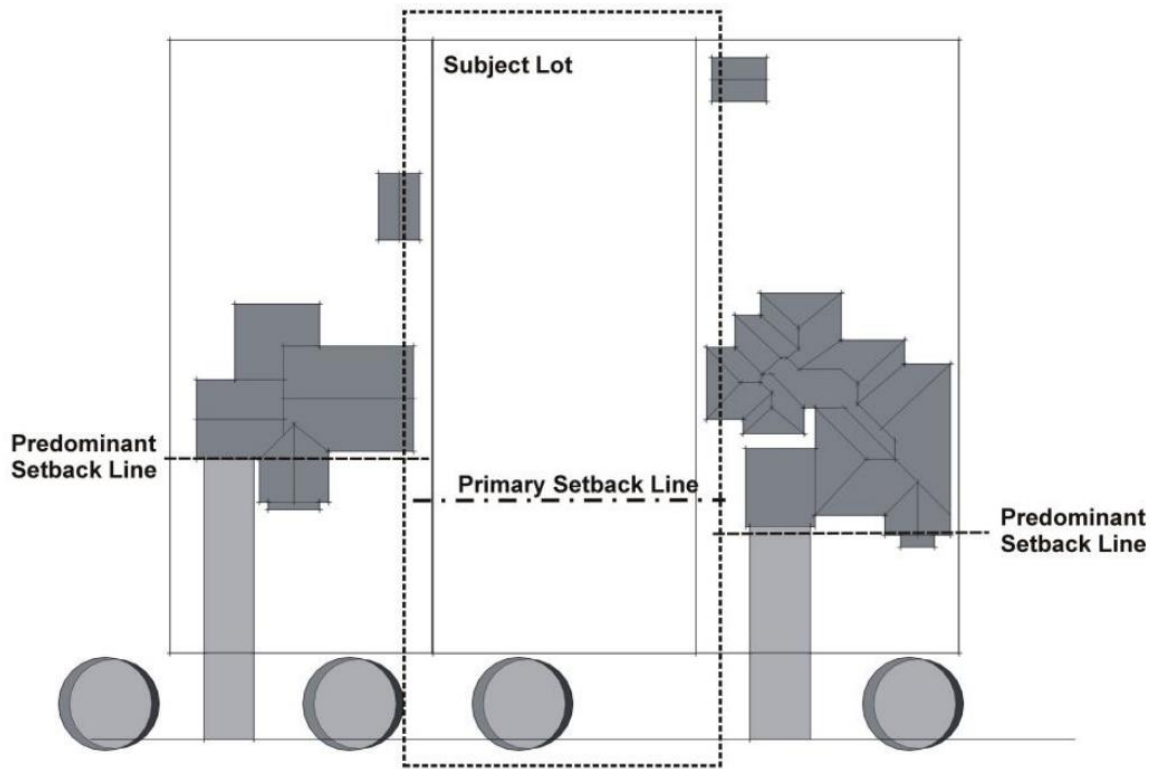


Figure 6 – Calculating front setbacks

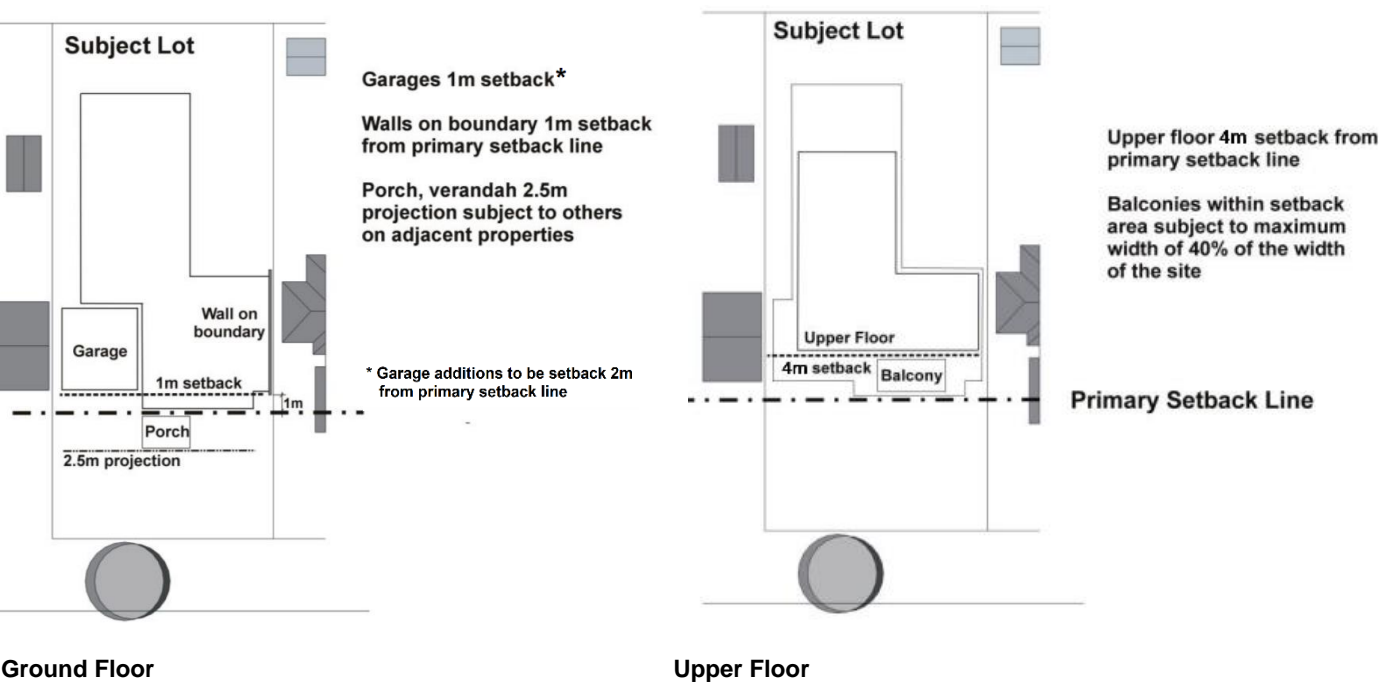
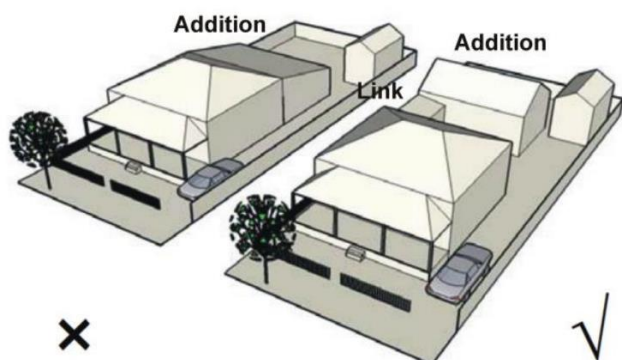
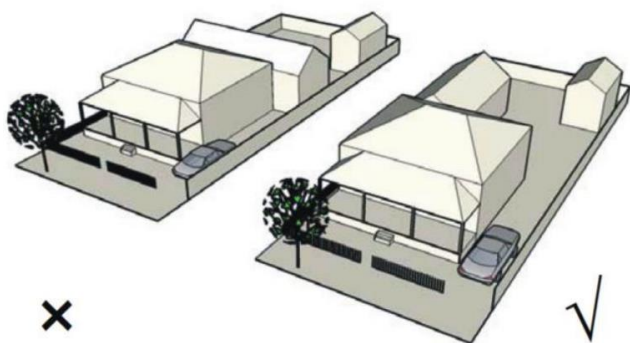


Figure 7 – Ground floor alterations and additions



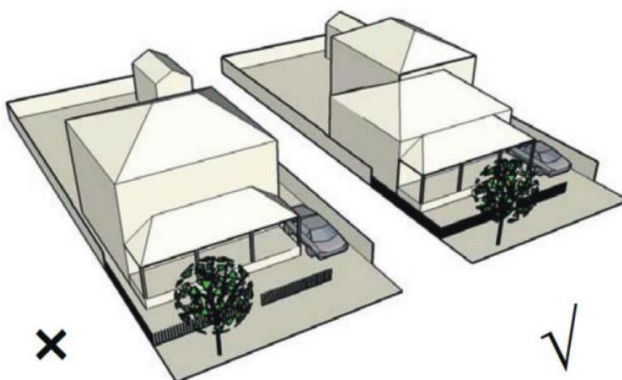
The use of links, courtyards and breezeways are encouraged. These minimise the impacts on the existing residence and provide improved internal and external living conditions.



Alternatively contiguous extensions should seek to minimise the impact on existing residence.

Figure 8 – Upper floor alterations and additions

Two storey extensions should be placed behind the ridgeline of the existing residence.



Two storey extensions at the front will dominate the streetscape and will not be supported.

