

DESIGN GUIDELINES - LOT 72 GARRATT ROAD AND DONALD SQUARE, BAYSWATER POLICY



Responsible Division	Planning and Development Services
Responsible Business Unit/s	Planning Services
Responsible Officer	Planning Manager
Affected Business Unit/s	Planning Services

PURPOSE:

To provide guidelines for variations to development standards adopted by Council within the subdivision located at Lot 72 Garratt Road & Donald Square, Bayswater.

POLICY STATEMENT:

The following standards shall apply to residential development within the subdivision at Lot 72 Garratt Road and Donald Square, Bayswater.

1. Setbacks

- a. A minimum front setback of 3 metres with an average of 4.5 metres shall be permitted for each dwelling
- b. Garages and carports shall be located a minimum of 4.5 metres from the front boundary.

Note: For the purpose of calculating setbacks for lots 7, 8, 9, 10 and 11, the front setback will be calculated from Donald Close, with Garratt Road being the rear setback.

2. Zero Lot Setbacks

- a. Where nominated on the plan of subdivision (attached), parapet walls are permitted on the ground floor as of right subject to compliance with the following criteria:
 - i. A minimum front setback of 4.5 metres;
 - ii. A minimum rear setback of 4.0 metres;
 - iii. A maximum height of 3.0 metres (measured from natural ground level); and
 - iv. A maximum length of 50% of the length of the common boundary.

Note: For the purpose of calculating setbacks for lots 7, 8, 9, 10 and 11, the front setback will be calculated from Donald Close, with Garratt Road being the rear setback.

- b. Parapet walls proposed in accordance with this policy do not require the consent of the adjoining landowner/s, however any variation to the minimum setbacks, height or length (as indicated above) will require the written comment of the adjoining landowner/s.

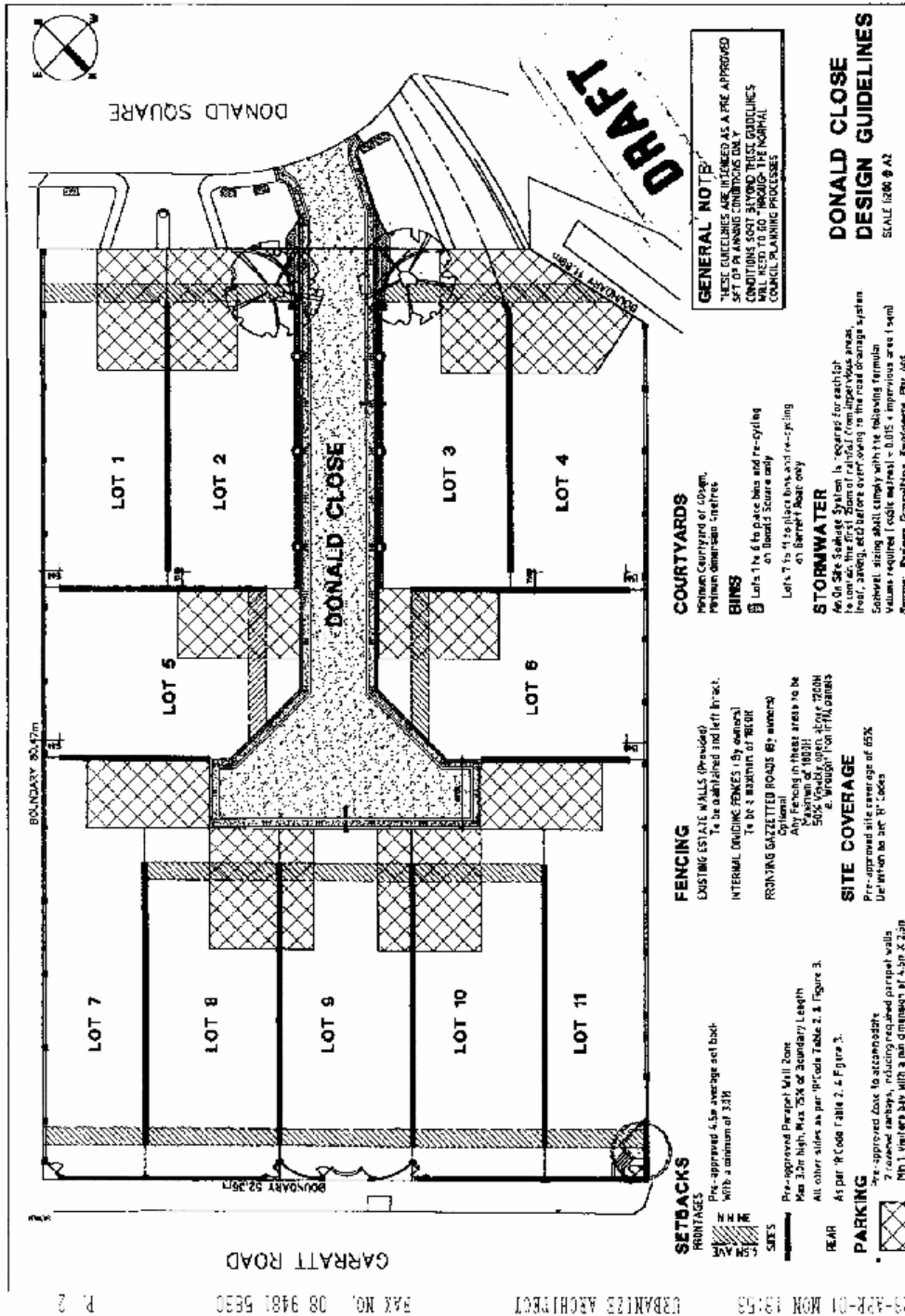
3. Site Coverage

- a. A maximum of 65% site coverage permitted.

4. Fencing

- a. Front screen walls and fences shall not exceed a height of 750mm. No fencing greater than 750mm permitted within the front setback area.
- b. A solid fence of 1.8 metres high is permitted along the secondary boundary street frontage subject to fencing within the 4.5 metre front setback area/truncation being a maximum height to 750 mm.

5. Building Height
 - a. Development shall not exceed a height of two (2) storeys or 6 metres.
6. Court Yards
 - a. The provision of a 40 square meter courtyard with a minimum dimension of 4 metres.
 - b. All courtyards are to be located as to the rear of the dwelling with reasonable access from a habitable rather than a bedroom. Courtyards within the front setback are not permitted.



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DEFINITIONS:

Nil

RELATED LEGISLATION:

Clause 2.6 of Town Planning Scheme No 24

RELATED DOCUMENTATION:

Nil

Relevant Delegations		
Risk Evaluation		
Council Adoption	Date	22 May 2001
Reviewed / Modified	Date	25 January 2005
Reviewed / Modified	Date	1 March 2016
Reviewed / Modified	Date	