

Corner Kirkham Hill Terrace and East Street Policy

Responsible Division	Office of the Chief Executive Officer
Responsible Business Unit	Property and Economic Development
Responsible Officer	Manager Property and Economic Development
Affected Business Units	Statutory Planning
ECM Document Set ID	4866856

Purpose

The purpose of this policy is to guide development on the identified lots to achieve consistent, site-responsive built form in order to maintain local character and amenity

Objectives

The objectives of this policy are to:

1. Facilitate development that is consistent with the established local character.
2. Ensure that development does not unduly impact upon local amenity.

Introduction

A number of residential areas within the suburb of Maylands are subject to design guidelines that vary aspects of the Residential Design Codes. These guidelines were allied to developer covenants on land titles that subsequently shaped the built form of these areas. Though many of these covenants have now expired, it is considered important to maintain the established character of the affected areas. This policy has been created to consolidate these original design guidelines and to continue to guide development according to their intent.

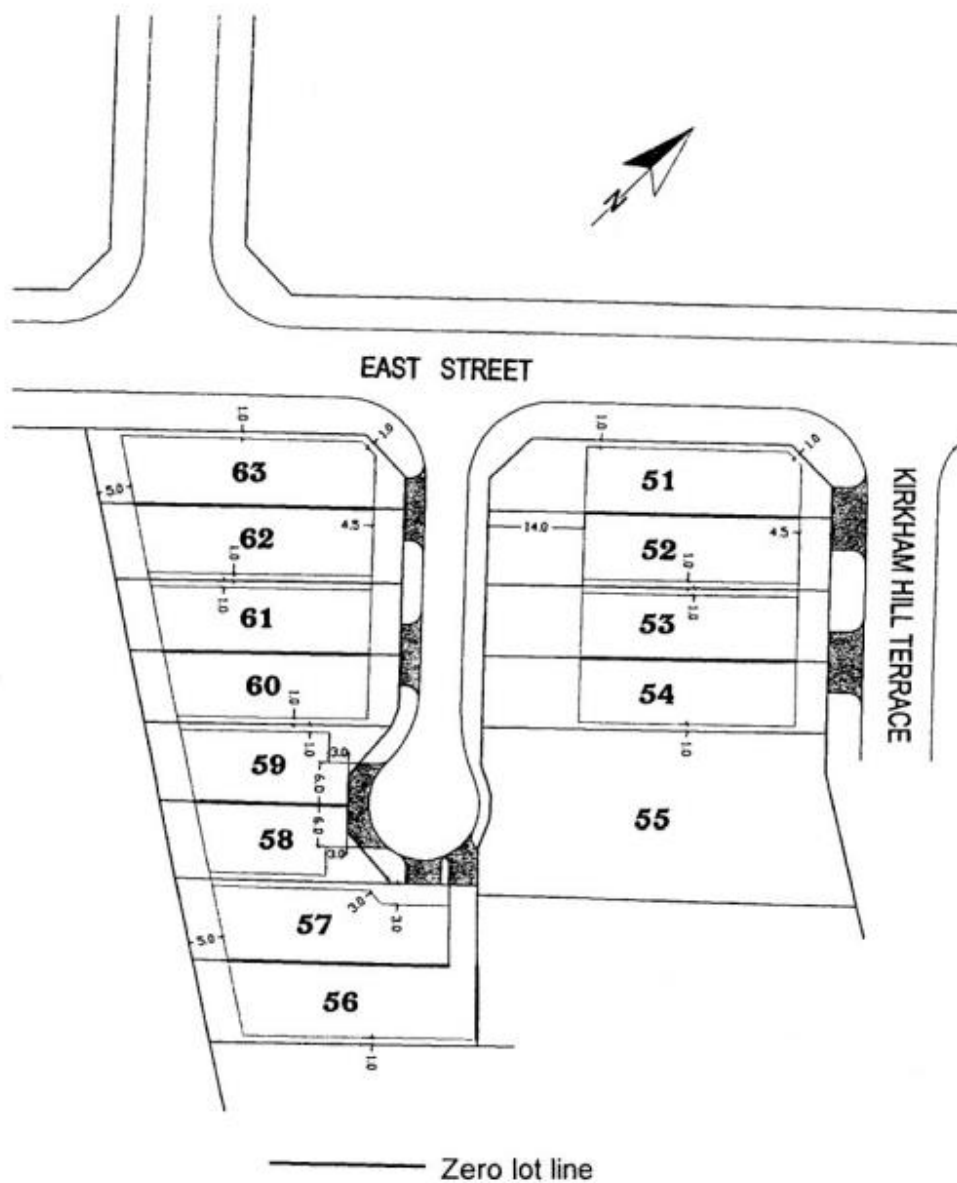
Scope

This policy applies to the erection or extension of all buildings and structures on various lots within the Kirkham Hill Terrace / East Street / McEvoy Cove estate, as identified on the plan below.

Requirements

The deemed-to-comply requirements of the Residential Design Codes shall apply to development on all lots within the scope of this policy, unless varied by the following provisions:

Kirkham Hill Terrace / East Street / McEvoy Cove



Street setback

Buildings on lots fronting Kirkham Hill Terrace and on Lots 60, 61, 62 and 63 McEvoy Cove set back from the primary street boundary:

- A minimum of 3m; and
- An average of 4.5m.

Buildings on Lots 57, 58 and 59 McEvoy Cove set back from the primary street boundary:

- A minimum of 3m.

Lot boundary setback

Walls may be built up to the boundaries identified on the guide plan, from 4.5m behind the primary street boundary, within the following limits and subject to the overshadowing provisions of the Residential Design Codes:

- Walls not higher than 6m (measured from natural ground level) and being within the height limit set by the restrictive covenants;
- Walls set back 5m from the rear lot boundaries to the foreshore; and
- Walls set back 14m from the rear lot boundaries to McEvoy Cove.

Parapet walls

There is no limitation to the length of a parapet wall, subject to compliance with the *Lot Boundary Setback*, *Street Setback* and *Setback of Garage and Carports* criteria within this policy.

Parapet walls proposed in accordance with this policy do not require the consent of the adjoining landowner/s, however any variation to the minimum setbacks, height or length (as indicated above) will require the written comment of the adjoining landowner/s.

Site coverage

A maximum site coverage is permitted of:

- 60% (Lots 51-54)
- 65% (Lots 56-64)

Setback of garages and carports

Garages and carports on Lot 57 McEvoy Cove set back 3m from the primary street boundary.

Garages and carports on Lots 58 and 59 McEvoy Cove with nil setback from the primary street boundary.

Related Legislation

This policy is adopted under all Local Planning Schemes in force within the City of Bayswater, in accordance with Schedule 2, Part 2, clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Document details

Relevant delegations	TP-D01 Local Planning Schemes		
Risk evaluation	Low		
Strategic link	Theme:	Environment and Liveability	
	Goal E1:	Maintain the identity and heritage of our neighbourhoods while supporting an increase in high quality density around transport nodes.	
	Theme:	Leadership and Governance	
	Goal L4:	Communicate in a clear and transparent way. Provide the community with useful information about Council's policies, services and events and advise the community of engagement outcomes.	
Council adoption	24 February 2009		
Reviewed/modified	23 February 2021	Resolution	10.6.2.1
Reviewed/modified	27 May 2025	Resolution	10.5.1.6
Revision details	No changes.		
Next review due	27 May 2029		